

Hermann, Missouri

DOWNTOWN REVITALIZATION & ECONOMIC ASSISTANCE FOR MISSOURI



BUILDING AND STREETScape DESIGN GUIDELINES

AUGUST 2009



ACKNOWLEDGMENTS



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DOWNTOWN
REVITALIZATION &
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ASSISTANCE FOR
MISSOURI

BUILDING AND
STREETSCAPE
DESIGN GUIDELINES

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INTRODUCTION

Background

Hermann was established in 1836 by the German Settlement Society of Philadelphia as a refuge for German heritage, and was essentially a prototype German settlement in Missouri. Located along the Missouri River, Hermann served as a major transportation hub with the central business district forming along the river and expanding South from the river, growing with the community.

The Hermann Historic District is home to a number of nineteenth century buildings which exemplify early Missouri German Architecture. Many structures in the Historic District remain unaltered from the original construction, with others enduring only minor changes. Historic structures are typically brick on a stone foundation with facades fronting the sidewalk. The façade designs vary within the district but styles include ante-bellum Classic Revival, Greek Revival, and late-nineteenth century designs.

After World War II there was a movement in America to remove all things that were considered old and replace them with something new and modern. In the intervening years subtle, and not so subtle, changes took place that had a commutative effect on the entire architectural environment. Original glass storefronts were removed and replaced with smaller, economical windows and entrances. Upper facade windows were removed or covered up completely. Building cornices and ornaments were removed, in an attempt to “clean-up” the old looking façade. Historic character and qualities were removed and replaced with new and inappropriate materials and design. In some cases, entire buildings have been removed, replaced with new buildings that fail to account for the rhythm and scale of the surrounding buildings and street. Altogether, these changes add up and over the years the sense of the main street community space was lost. Hermann is unique because it has largely been spared the detrimental effects of these trends. The strength of Downtown Hermann can be found in its continued retention of its historical buildings.

The city is fortunate to have many structures in their original, or slightly altered, condition. Many towns have lost much of their Main Street buildings and as a result have lost any definition of a strong downtown. Anchoring the Downtown of Hermann are the Gasconade County Courthouse and Old City Hall on the Western entrance to Downtown and Hermanhoff winery on the Eastern entrance. Other excellent examples of significant historic architecture are intermingled throughout the Historic District. While these individual buildings are significant to the unique historical character of Downtown Hermann, the entirety of the historic district as a cohesive environment gives Hermann its unique character and charm. This document is a guide to protecting, restoring, and retaining Hermann’s unique historical character.

Hermann, Missouri

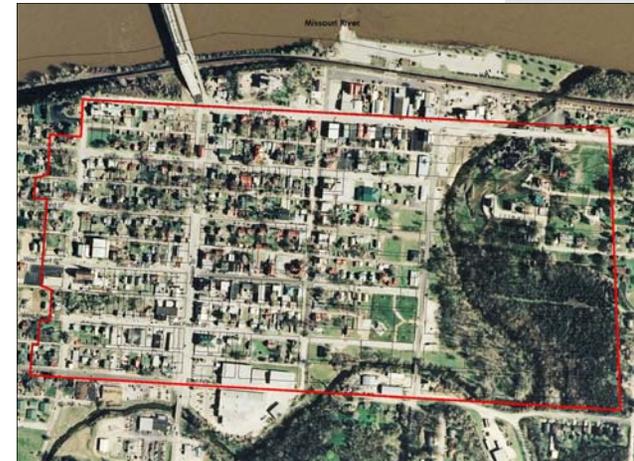
Intent of Guidelines

The Hermann Historic District has many outstanding attributes to build upon. Beginning with an appreciation of the original architecture on the Downtown, and with the introduction of new buildings and structures into the downtown fabric and streetscape, all elements should have the look and feel of belonging in the same composition. This document is a guide to assist the Landmarks Commission with making informed decisions regarding Design Guideline adherence.

The Design Guidelines should be used in developing individual improvement plans such as the rehabilitation of a store front or the landscaping of a parking lot. It should also be used in preparing annual maintenance programs as well as phased long-range property improvements. Readers are encouraged to read the entire handbook to gain an understanding of how the individual chapters work together to create a synergistic result for building design, but it is possible to work with individual sections.

Overall the guidelines work towards retaining the charm and historic feel of Hermann while promoting appropriate new development and sensitive rehabilitation. In order for the continued success of Downtown it must respect the tradition of rhythm and unity that existed before, not to create an exact copy of the historic past. Working within the existing fabric of Downtown buildings the community should develop a sensible approach to the renewal of the district including; the removal of inappropriate materials, adherence to the design guidelines, and developing appropriate streetscape improvements.

The building facades along with the sidewalks and street make up the outdoor living room of the city. This space is at the center of the community, alive with activities and events. As such, the responsibility of redevelopment falls on the community as well as to downtown property owners and the city.



Downtown Hermann



Hermann Historic District

BUILDING DESIGN GUIDELINES

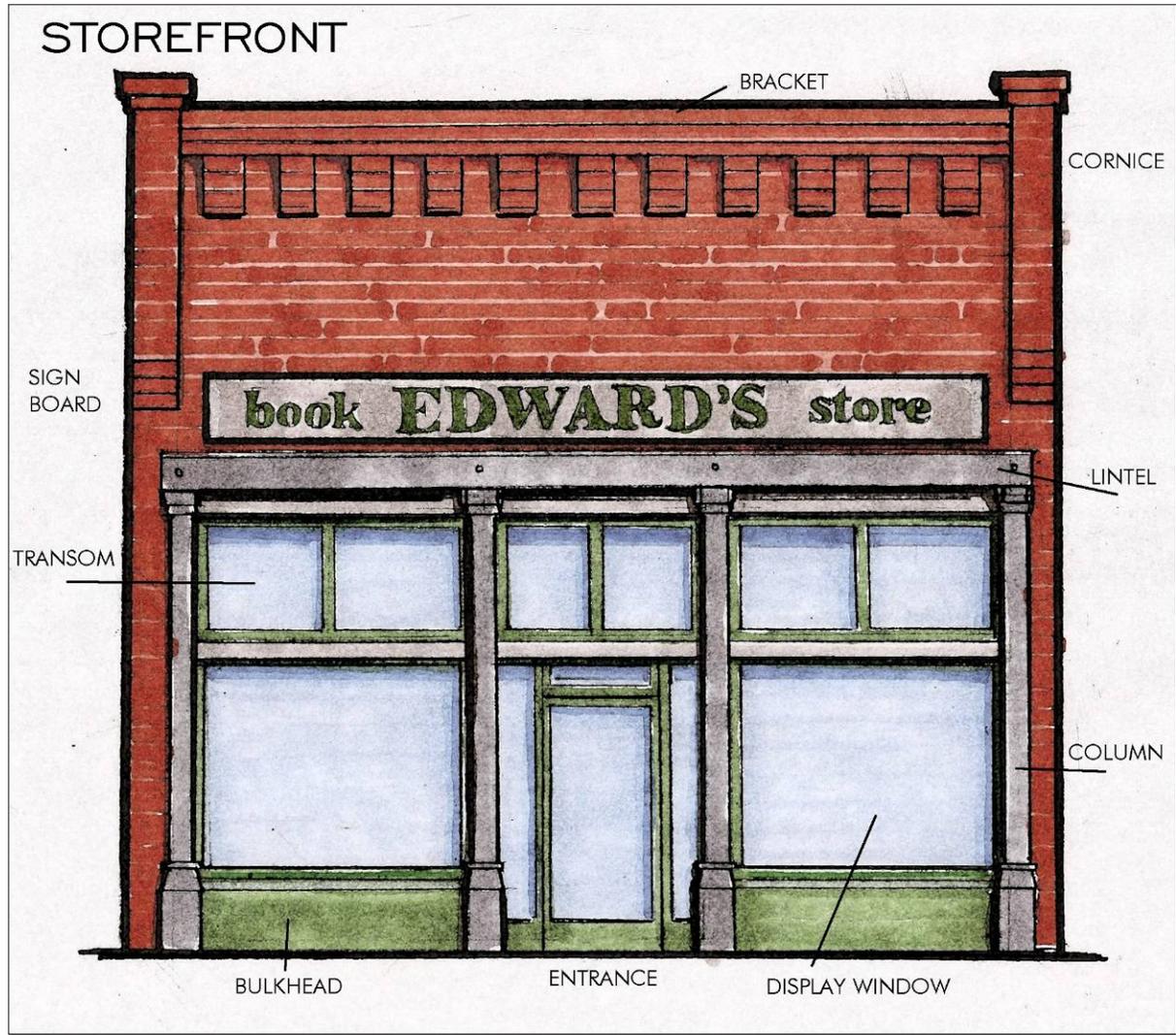
Downtown Fabric of Buildings

While these guidelines are written for the Downtown, the design recommendations are sound advice that might be applicable elsewhere in the community. The principles to be discussed, in many cases, can be altered and adapted to apply to an aspect of the entire town or a specific neighborhood, but care should be taken that the Downtown and the overall downtown area should remain unique in character.

To successfully support the revitalization of downtown Hermann, the Downtown property owners, City staff, elected officials, and other community organizations may have to change the way they think about downtown Hermann and make a long term commitment to an overall unifying theme, feel, and sense of atmosphere. This process will not happen overnight, in a week, nor in a month or a year. Hermann will not wake up one morning and be “finished” with the establishment of the downtown place. This will be an ongoing effort that will evolve, pick-up speed, slow down, be applauded, and be criticized. The one constant should be the desire to slowly adjust the downtown core to an atmosphere that is attractive to Hermann residents and its visitors. In this overall “fabric of downtown” there will be 3 types of structures; those that contribute, those that detract, and those that do neither. The objective is to maximize contributing elements and minimize detracting elements, over time.

Building Zones

Improvements to individual buildings will be discussed in the context of three distinct 'zones'; the Storefront, the Upper Façade, and the Rear Façade. The elements of the front façade zones are depicted in this diagram.



Façade Elements

The various elements of a façade must be balanced. Appropriate massing, building and floor heights, proportions, roof lines, materials, and setbacks are some critical considerations in new construction. Any future development should be encouraged to implement a design that contributes to the fabric of downtown. Any new design that will detract from the fabric should be denied.

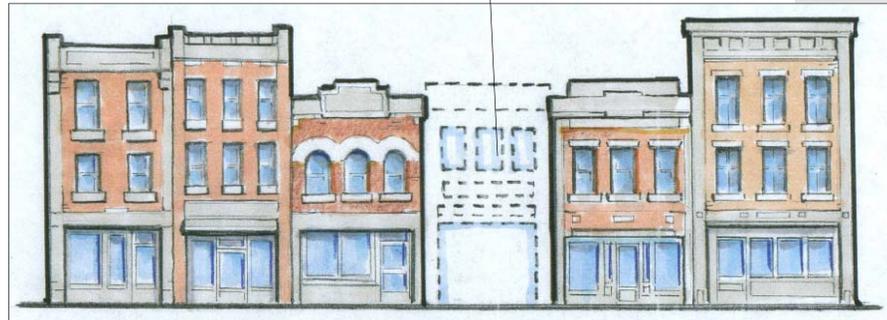
Other aspects like architectural details, colors, and cornices are more important to the restoration of historic buildings, but can be used effectively in new construction as well. Developing a well balanced character between all elements can allow a building to be very individual in its character, but at the same time be a complementary thread woven into the overall fabric and feel of downtown.

Rhythm and Scale

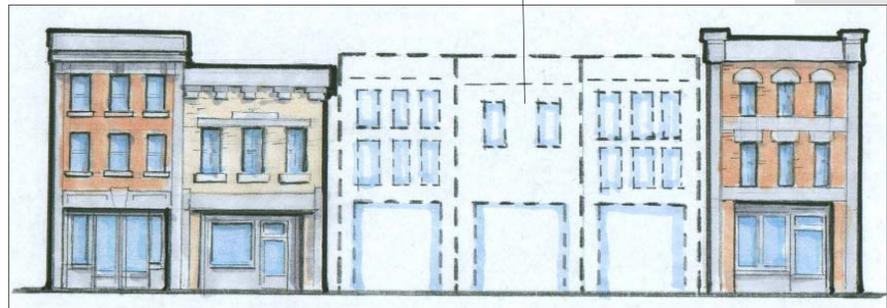
The defined rhythm of Hermann should be maintained along a street frontage by adhering to uniform lot widths, building widths, and window spacing.

- New infill buildings and structures should maintain the rhythm through proper repetition of details and orientation to the street.
- Façade in bays and awnings should maintain the rhythm of the rest of downtown.
- Vertical elements, entrances, lighting, and other street furnishings can also develop the rhythm of a specific block.

New façade fills opening.



New façade as a series of bays.

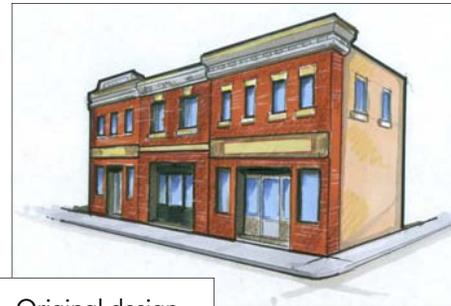


20th Century Infill on First Street that does not respect the rhythm and scale of Downtown Hermann.

Alterations

Encourage removal of inappropriate alterations or additions that disrupt the fabric of the Storefront Zone. It is possible that non-historic and new construction can complement the building fabric that has developed, therefore some alterations may not need be removed. Decks, ADA structures, and other 'detachable' alterations can be utilized, but should be as unobtrusive as possible and located on the rear or sides of the building.

As a rule, any and all alterations or additions to the Upper Facade zone should be removed. Alterations in this zone can significantly change the appearance of the face of the building. This includes any and all signs and lighting as these should be restricted to the Storefront Zone. Avoid removing or altering any historic material or significant architectural features. Care should be taken during the removal process due to the possibility of damaging original elements hidden behind the alterations. When disassembly of a historic element is necessary, use methods that minimize damage to the original materials.



Original design.



Minor alterations.



Storefront is lost.



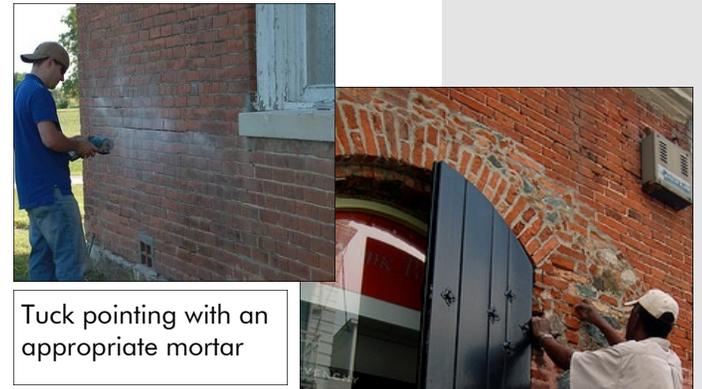
Significant alterations.

Hermann, Missouri

Masonry

Masonry is typically the preferred facade material for downtown. Most existing construction will utilize some masonry. In most instances metal and wood siding is not a comfortable choice for downtown building fabric. These types of siding provide harsh lines, stark contrast, and no relief or warmth to the buildings. If wood was the historic material, it may be restored.

- Masonry restoration, particularly on historic structures, should be done by professionals, if possible
- If the masonry has been painted or stained a minimally intrusive removal process should be used.
- Never resort to sand blasting as this will permanently damage the brick.
- Unpainted masonry should remain natural, not painted or sealed.
- Masonry walls which are currently painted should be maintained and repainted in accordance with general maintenance
- Masonry replacement and/or repair should only be done with appropriate materials.
- If a historic facade has been covered with metal or wood siding it should be removed. Exposing the underlying brick masonry will help re-establish the character of the building and contribute to the visual continuity of the block. Metal cladding often is easy to remove, and only small areas of the underlying material will have been damaged.
- Cover-ups also hide interesting details that can enhance building identity. If, after removing the covering material, portions of the original must be replaced, use a material that is similar to the original in color and texture.
- Regular maintenance of stone foundations should occur to prevent structural and water damage.
- Water proofing of foundations should be applied beneath finish grade or inside of structure.



Hermann, Missouri

Masonry Cleaning

Inappropriate cleaning and coating treatments are a major cause of damage to historic masonry buildings. While either or both treatments may be appropriate in some cases, they can be very destructive to historic masonry if they are not selected carefully. Historic masonry includes stone, brick, architectural terra cotta, cast stone, concrete and concrete block. It is frequently cleaned because cleaning is equated with improvement. Cleaning may sometimes be followed by the application of a water-repellent coating.

- Choose the appropriate cleaner.
- Masonry walls should only be cleaned of dirt or painting with non-acidic chemicals solutions or water and water should be sprayed at low to medium pressure.
- Water Cleaning has several options which include: soaking, water washing, water washing with detergents and steam/hot-pressurized water cleaning.
- Chemical Cleaning options that should be considered include alkaline and organic compounds and solvents. Some options include alkaline paint removers and organic solvent paint removers.
- See also Preservation Brief #1: *The Cleaning and Waterproof Coating of Masonry Buildings*, published by the National Park Service (NPS).



Buildings that have been properly maintained and cleaned.

Hermann, Missouri

Masonry Repair

Providing appropriate materials and methods for repointing historic masonry buildings is important for a community, building owners, architects, and contractors. Developing sensitivity to the particular needs of historic masonry will assist in the maintenance and repair of historic masonry. Although specifically intended for historic buildings, the guidance is appropriate for other masonry buildings as well. It is important to acknowledge that the many buildings constructed in the first half of the 20th century are now historic and eligible for listing in the National Register of Historic Places, and that they may have been originally constructed with portland cement mortar.

- Damaged masonry should be repaired or replaced with similar color, texture, and style masonry products.
- Tuck pointing should be done with an appropriate mortar material with a consistent color across the entire facade.
- Tuck pointing should be done with hand tools to preserve the masonry, since power tools can easily chip and damage masonry.
- Mortar should fill the joint but should not overfill it, and should not be smeared on the faces of masonry units
- Portland cement as a patch or mortar for masonry is unacceptable.
- Re-pointing of stone foundations should use appropriate mortar mixes.
- See also *Preservation Briefs 2: Repointing Mortar Joints in Historic Brick Buildings* published by the NPS.



Historic masonry with proper repair.

Hermann, Missouri

Awnings

In recent years, building owners and others interested in historic buildings have rediscovered awnings. Continued concerns over energy efficiency have also persuaded building owners and developers to use awnings to reduce heat gain, glare, and cooling costs. Because awnings were so common until the mid-twentieth century, they are visually appropriate for many historic buildings, unlike some other means of energy conservation. Awnings used in the storefront zone provide shade for merchandise, shelter for pedestrians, and bring a colorful accent to the building front that can be changed frequently and without great expense. The following suggestions enhance appropriate use of awnings and improve downtown aesthetics:

- Mount the top edge to align with the top of the transom, or to align with the framing that separates the transom from the main display window. This will help strengthen the visual continuity of store fronts.
- Aluminum and/or steel awnings and structures are not original building elements and typically detract from the overall appeal of downtown facades. These awnings should be removed and points of attachment repaired on the building facade.
- Awnings should be the same shape and size as the window, door or storefront.
- Awnings should be trapezoidal in profile with closed ends, not rounded or curved.
- Awnings should be made from soft canvas or vinyl materials and should be installed without damaging the building.
- Like the storefront, awnings should be confined to the extent of the original storefront opening.
- Roll-up awnings were a common site on historic storefronts and can be used following a similar approach to the original application. If a roll-up awning is not operable, the awning should at least follow the shape of an operable awning.
- Awnings will wear and should be acknowledged as an operating cost of doing business which can be changed every few years (average life expectancy is between 4 and 7 years) for a fresh look.



These canopies in Downtown Hermann have acquired historic significance and add to the unique character.



This awning color blends well into Downtown. The rounded centerpoint should be used for signage.



This wood canopy has unique features important for preservation.

Awnings Color and Signage

- Awning colors should coordinate with the color scheme for the entire building and remain consistent.
- Awning signage or lettering should be limited to the hanging vertical flap of the awning and be complementary in color to the building.
- Awning signage or lettering should not be allowed where another flush faced sign exists.
- Signboards under the awning intended to assist pedestrians should be a limited, uniform size and complement the awning and building.
- Awnings will wear and should be acknowledged as an operating cost of doing business which can be changed every few years for a fresh look.

Inappropriate Canopies & Awnings in Downtown



Lighting

Buildings should be interesting to pedestrians and motorists at night, as well as by day. A well-lit storefront or rear façade creates a positive impression about downtown. The following lighting conditions can be implemented to enhance the attractiveness and safety of the downtown:

- Use lighting as a design element to draw attention to the entire building, not just the sign.
- Any lighting at the storefront should be used to accent the entrance, signage, or architectural elements as well as provide light for safety and security.
- Light fixtures should be the lowest wattage possible and of a concealed, simple, and non-intrusive design or a style that is appropriate to the period of the building.
- Sign lighting should be balanced in color and intensity with light in display windows.
- Warm-colored light is preferred for all exterior lighting, since this is more pleasing to the eye, and will more easily draw attention to window displays.
- Neon lights and cool fluorescent lights should not be used.
- Lighting on Rear Facades should provide illumination at the entry door as well as along the pedestrian path from the parking area. This lighting should be similar to the lighting in the front.



Inappropriate style of lights & too high of a wattage



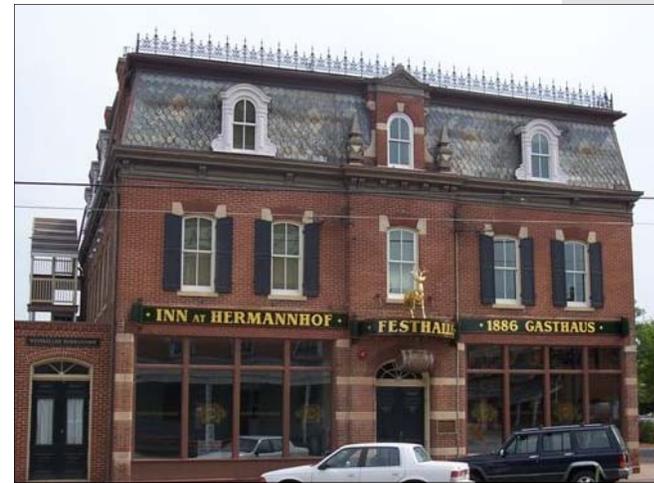
Lighting illuminates the doorway & Spot lights for entrance signage
Historic St. Charles, Missouri

Signage

For a successful Hermann Downtown each business must have its own identity while at the same time maintaining the continuity of the district. Appropriate signage identifies the business without detracting from the architecture of the building and the fabric of downtown. Sign types and their locations should be kept simple and consistent for ease of public awareness. Signage should be restricted to the Storefront or Rear Façade Zones. The following guidelines will help enhance this aspect of Hermann’s downtown:

- The size of the sign should be of an appropriate scale for the building and street. Large signs should not be needed as the signage in a downtown area is more oriented to the pedestrian than the motorist.
- Rooftop, blade, pole, abandoned, neon, electronic message boards, and billboard signage should not be allowed or severely restricted.
- Flush-mounted signs that fit within architectural features are preferred. This type of signage will help reinforce horizontal lines along the street.
- Signage should not obscure significant architectural detailing.
- Coordinate color schemes with the building front.
- Locate flush signs so they do not extend beyond the outer edges of the building front.
- Where appropriate use existing decorative moldings to define a “sign panel” for flush-mounted signs.
- Locate projecting signs along the first floor level of the façade, not above.
- Place signs near the business entrance, to guide a customer’s eyes to the door.
- Use symbols in projecting signs; these are more easily identified and remembered and will add interest to the building.
- Where several businesses share a building, coordinate the signs by aligning several smaller signs or grouping them onto a single panel as a directory to make them easier to locate. Use similar forms or backgrounds for the signs to tie them together visually and make them easier to read.

Good Examples of Window and Building Signage



Hermann, Missouri

Signage

- Mount signs so they will not obscure any architectural details.
- Sign materials should be compatible with the façade materials and existing architectural details.
- External lighting cast from period style, non-intrusive fixtures is preferable to internal sign lighting.
- Illuminate signs in such a way as to enhance the overall composition of the façade.
- Good craftsmanship will pay off in longer service for your sign, and it will convey a stronger image to the public. Select high quality materials. Signs are exposed to extreme weather conditions, and a deteriorating sign presents a poor image to customers.
- Lettering or fonts and the graphic illustrations should relate to the character of the building and downtown.
- Encourage the use of “custom” designs that portray a business as being unique. Mass-produced signs, especially rectangular plastic panel ones with internal lighting, fail to make a lasting impression.



Examples of Good Building Signage



Free-standing entrance sign
(St. Charles, Missouri)



Signboards on Sidewalk
(Hannibal, Missouri)

Hermann, Missouri

Bicycles

A downtown area should not only be pedestrian friendly, but bicycle friendly as well. The City of Hermann is a major destination on the nearby KATY Trail and the scale of the downtown makes bicycle travel an enjoyable means of transportation in Hermann. Downtown plans should implement bicycle facilities which can be used by local citizens and tourists. The city should identify opportunities for future bicycle facilities in downtown and throughout the community. Such facilities may include the following:

- Bicycle racks which should have the uniform design of materials, color and style as other site furnishings.
- Directional and regulatory street signage which identifies local streets as bike routes and share the road routes.
- Wayfinding signage to direct cyclists to various destinations within downtown.
- Public restrooms and drinking fountains
- Dedicated bicycle lanes on streets, where feasible and possible.

The City of Hermann should promote the use of cycling to and through the town. Due to proximity of the town to the KATY Trail and the pedestrian deck on the new State Highway 19 Bridge, Hermann will experience more cyclists. Developing a bicycle network plan which would identify local streets as the defined bike routes of town, would provide a safe and well organized plan for cyclists and automobile drivers to understand. Implementing bicycle facilities will provide an alternative means of transportation and another recreational experience for visitors and locals.



Bicycle racks in Webster Groves, Missouri



Hermann, Missouri

Franchise Architecture

It is crucial to maintain the balance between development and the presentation of the visual appeal. Downtown Hermann has a unique atmosphere and branding the downtown buildings in the style of a company should not be allowed. Franchise architecture is defined as a building design that is trademarked or identified with a particular chain or corporation and is generic in nature.

- Architecture must be compatible with existing building styles and types.
- Overly bright colors should be avoided. Building colors should blend with the natural landscape so the development does not take on visual prominence.
- No high intensity, metallic colors or fluorescent colors should be prohibited.
- Franchise colors should only be permitted when they comply with the design guidelines.
- Franchise use should be incorporated into existing buildings.

Large franchises and national chains typically have a 'downtown style' in addition to their trademarked brand. Hermann should insist the company follow these design standards and adapt their brand to create a complementary downtown building.

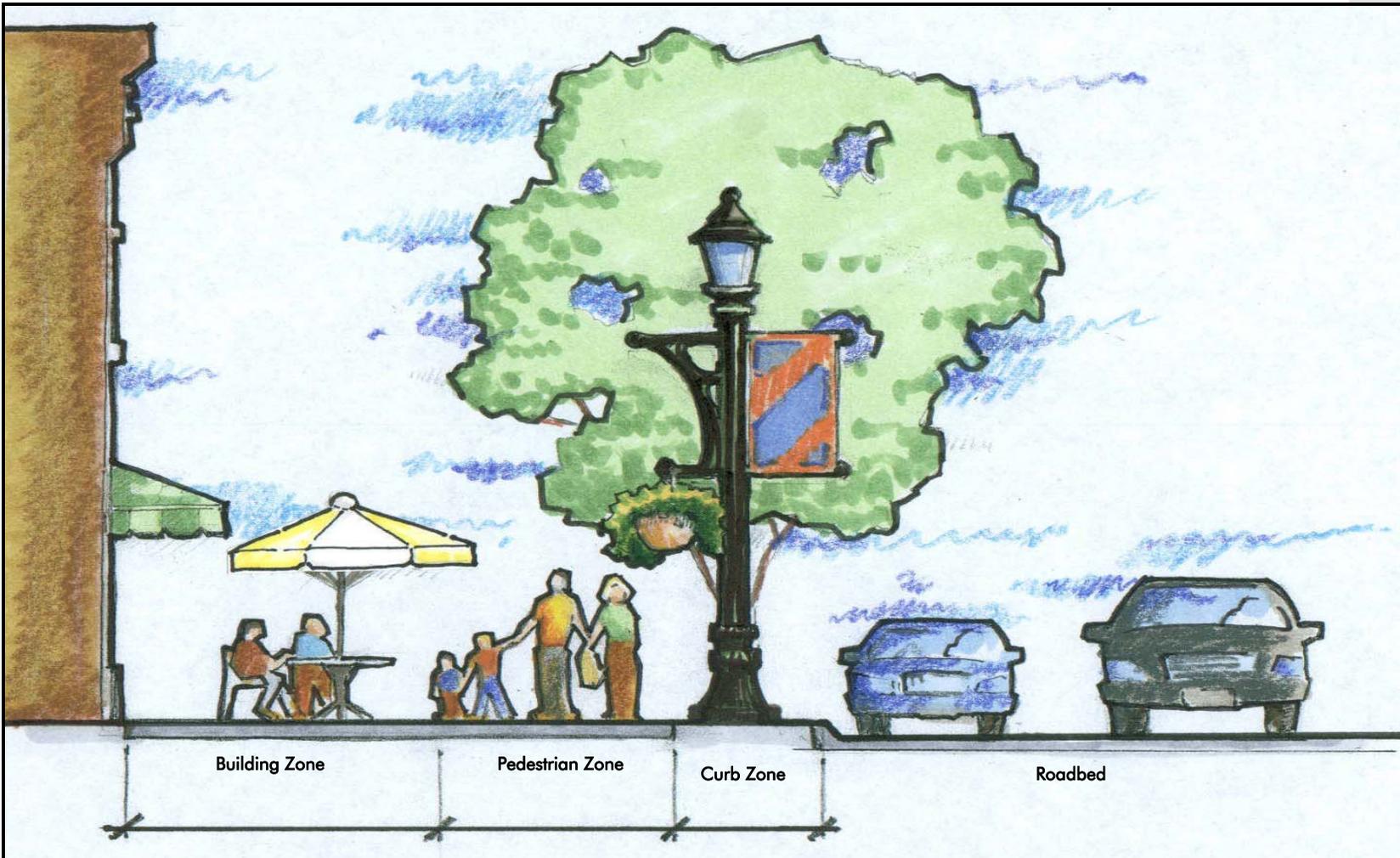
Existing Franchise facades located in Downtown



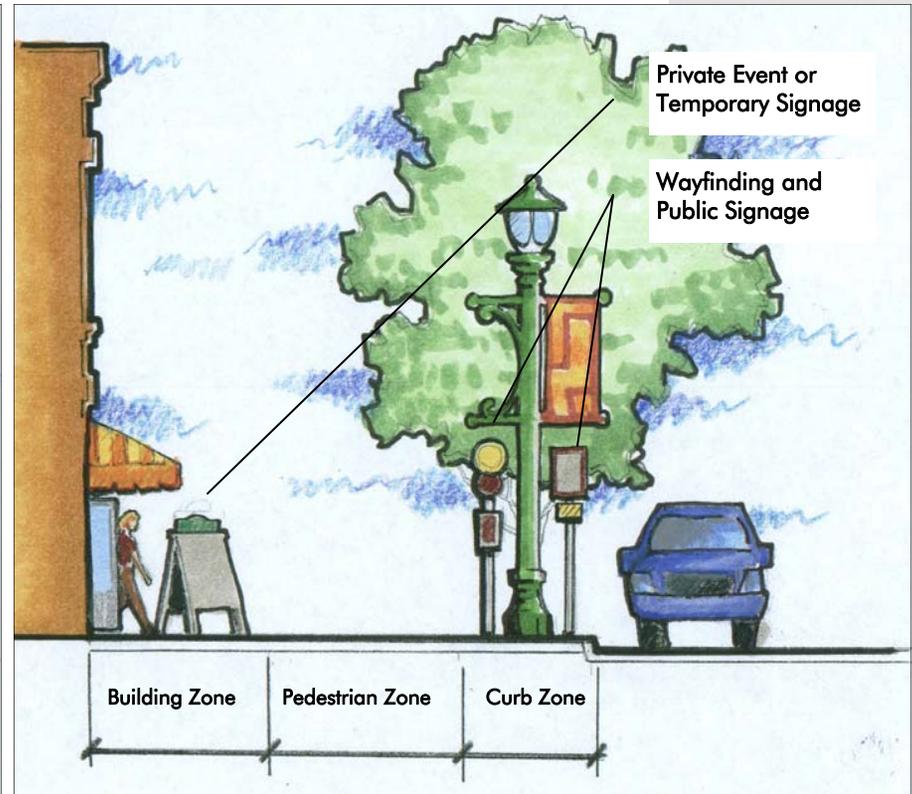
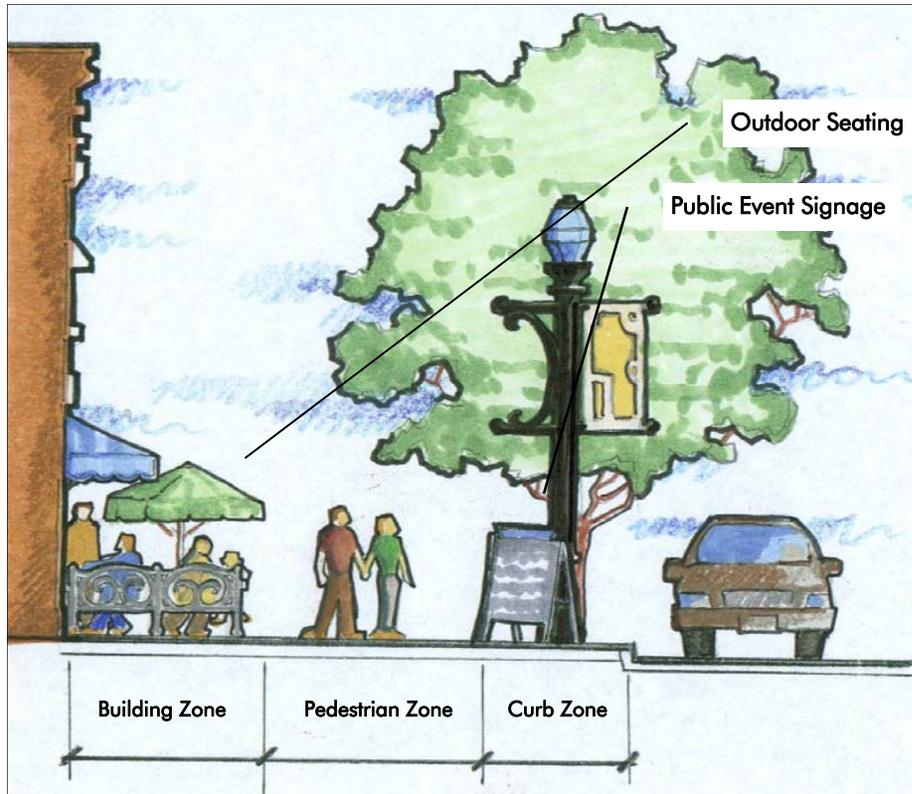
Example of Franchise architecture that follows downtown design.

Sidewalk Zones

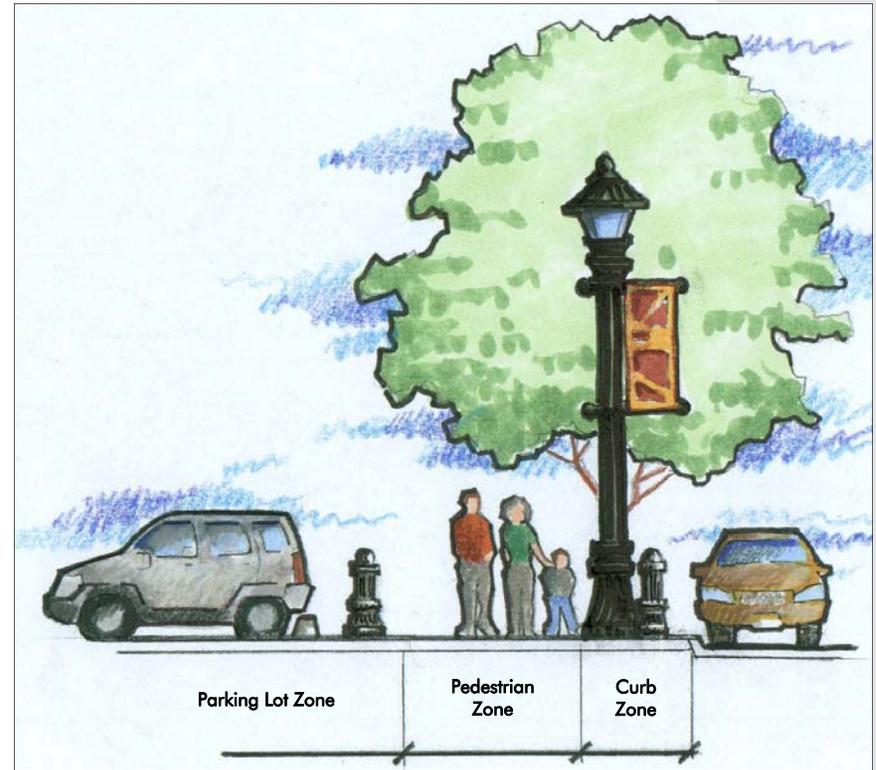
Appropriate zones in front of a building should be maintained. The Building Zone, Pedestrian Zone, and Curb Zone all have unique characteristics that should be regulated to ensure that private elements do not adversely impact public improvements. These are also important aspects of the streetscape plan to be discussed later in this document.



- Aside from ADA accessible pavement improvements, Streetscape Amenities should remain clear of the Pedestrian Zone and allow for free movement of pedestrians. These elements will enhance the pedestrian experience, but must not obstruct them.
- Businesses should be informed on the importance of maintaining Sidewalk Zones. Each business should care for the zones within their building's street frontage.



- Items such as bicycle racks, bollards, and benches can add to the streetscape
- Businesses should consider providing and maintaining such elements within their Building or Parking Lot Zones to enhance service to their patrons.

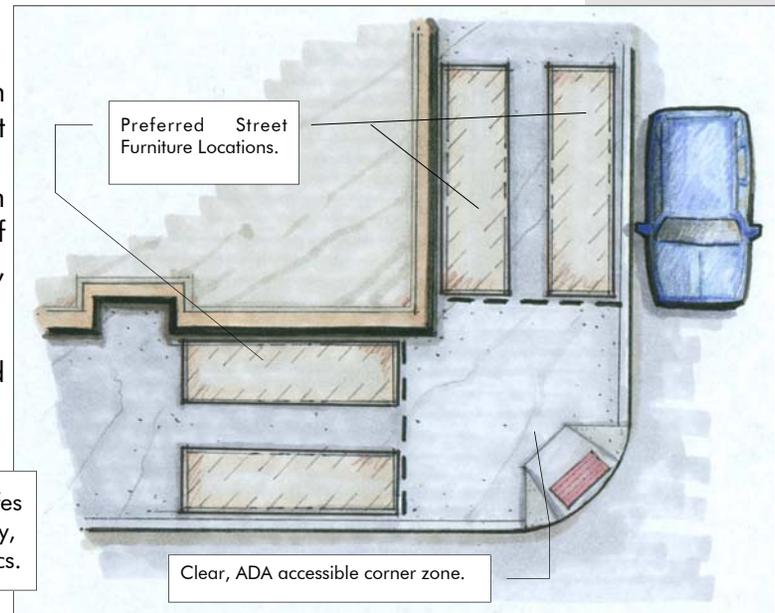


Outdoor Café Seating

Outdoor Café or sidewalk seating is an exiting tool that adds to a vibrant impression about downtown. Seating areas for restaurants should be encouraged, but monitored by the City. A proper arrangement will:



- Be located in the sidewalk area fronting the restaurant.
- Allow a clear and unencumbered path along the sidewalk for pedestrian traffic or be located close enough to the building. In either case the sidewalk must maintain ADA compliance. The restaurant owner is responsible for keeping the sidewalk and this pathway clear at all times.
- Areas adjacent to the building should not block entrances or exits to the building.
- Provide a clearly defined area connected with the restaurant.
- Utilize appropriate umbrellas or other patron covering in a uniform color, matching the building colors, and with only the restaurant name. Any other wording or message should not be allowed.
- Temporary outdoor seating material must be kept in top condition to provide an attractive image for the restaurant and all of downtown. Such furnishings should be durable, weatherproof, and sturdy enough to prevent movement by winds.
- Plastic furnishings should not be used.
- Furnishings should be stored in a secure location inside at the end of the day.
- At least one sturdy trash receptacle should be provided.



Maintenance of Facades

Facades, particularly restorations, may need extra care and maintenance. The city should encourage proper maintenance through code and nuisance enforcement. In addition, development of any financial incentives for façade restoration or repair should include a minimum maintenance requirement.

The City of Hermann should establish a Façade Rehabilitation Revolving Loan Fund. Consider using the Missouri Finance Development Board and Missouri Infrastructure Development Opportunities Commission Program Infrastructure loan program to establish a Façade Revolving Loan Fund to provide gap loan financing for rehabilitation projects throughout the Downtown. CID or TIF funds can be used as the matching component.



Examples of well maintained facades.

Accessibility

Historically, most buildings and landscapes were not designed to be readily accessible for people with disabilities. In recent years, however, emphasis has been placed on preserving historically significant properties, and on making these properties-and the activities within them -more accessible to people with disabilities. With the passage of the Americans with Disabilities Act in 1990, access to properties open to the public is now a civil right.

A three step approach is recommended:

- 1) Review the historical significance of the property and identify character-defining features;
- 2) Assess the property's existing and required level of accessibility; and
- 3) Evaluate accessibility options within a preservation context.

Design guidelines should not prevent or inhibit compliance with accessibility laws.

- All new construction shall comply completely with the American with Disabilities Act (ADA)
- Owners of historic properties also should comply with the ADA to the fullest extent, while also preserving the integrity of the character defining features of their building.
- If primary public entrance cannot achieve ADA compliance (without permanent damage to character-defining features) at least one entrance used by the public should be made accessible. This can be accomplished by incorporating ramps, installing wheelchair lifts, considering a new entrance (in an appropriate location), retrofitting doors, and making curb cuts.
- Special provisions for historic buildings exist in the law that allow some alternative solution in meeting the ADA guidelines.
- Consult with the City of Hermann and the Missouri Department of Natural Resources for more information regarding compliance or alternative solutions in meeting the ADA.
- See also *Preservation Brief #32, Making Historic Properties Accessible* published by the NPS.

Historic Buildings

Original Elements

Any original element or material that still exists, particularly on the storefront, should be retained if possible. Original elements provide a historic value that can not be replaced. Prisms glass in transom windows or a decorative wooden door with beveled glass would be an examples of original materials.

Replacement of missing architectural elements should be based on accurate duplications of original features. When an entire detail must be reconstructed the new material should match the original in design, color, texture, and other visual qualities. Where reconstruction of an element is impossible because of a lack of historical evidence, then a new design that relates to the building in general size, scale and material may be considered. Use design elements that reflect the building's style. A simplified interpretation of similar features on comparable buildings may be acceptable.

Storefront:

The ready availability of architectural cast iron after the 1840s helped transform storefront design as architects and builders began to experiment using iron columns and lintels at the ground floor level. Simultaneous advances in the glass industry permitted manufacturing of large panes of glass at a reasonable cost. The combination of these two technical achievements led to the storefront as we know it today--large expanses of glass framed by thin structural elements. The advertisement of the merchant and his products in the building facade and display windows quickly became critical factors in the competitive commercial atmosphere of downtowns. In the grouping of these wide-windowed facades along major commercial streets, the image of America's cities and towns radically changed.

The first cast iron fronts were simple post-and-lintel construction with little decoration. As iron craftsmen became more adept and as more ornate architectural styles became popular, cast iron fronts were given Italianate, Venetian Gothic, and French Second Empire details. Cast iron storefronts could be selected directly from catalogs, which began to appear in the early 1850s. Standardized sills, columns, and lintels could be arranged to create fronts of all sizes, styles and configurations. In the 1870s sheet metal storefronts became popular; they were also sold in standardized sizes and configurations through manufacturers' catalogs.



Building maintains original elements



Well designed & coordinated storefront

The typical 19th century storefront consisted of single or double doors flanked by display windows. The entrance was frequently recessed, not only to protect the customer from inclement weather but to increase the amount of space in which to display merchandise. In some cases an additional side door provided access to the upper floors. Thin structural members of cast iron or wood, rather than masonry piers, usually framed the storefront. The windows themselves were raised off the ground by wood, cast iron or pressed metal panels or bulkheads; frequently, a transom or series of transoms (consisting of single or multiple panes of glass) were placed above each window and door. The signboard above the storefront (the fascia covering the structural beam) became a prominent part of the building. Canvas awnings, or in some cases tin or wooden canopies, often shaded storefronts.



Well designed & coordinated storefront

The following are general recommendations for storefronts

Entrance:

- Maintain the original size and shape of the storefront opening.
- If entrances are recessed they should be maintained, they provide a shelter and remove the open door from the path of pedestrians on the sidewalk. These areas also repeat a rhythm of shaded areas along the street helps to identify business entrances.
- If the original recessed entry has been removed, consider establishing a new one.
- The recessed entrance door should also be ADA compliant.
- The door should provide a view into the building as well as a sense of openness. Solid doors should be avoided.
- Consider using an accent color on the door.

Windows:

- Preserve any of the large panes of glass that make-up the original store front if they still exist. These transparent surfaces allow pedestrians to see goods and activities inside.
- Any new or replacement storefront should be built of similar materials compatible with the original façade design and craftsmanship.
- Wood framing similar to the original is preferred, but metal framing with the appropriate historic profile is acceptable. Both should be painted.
- Clear insulated glass with low 'E' coating is a good choice for replacement storefronts.
- Tinted or reflective glass and interior reflective films should not be used on the storefront.

Spandrel Panels:

- Maintaining the original spandrel panel, if it exists, is preferable but if the panel is missing, reconstruction using old photographs as a guide is acceptable.
- Coordinate the color scheme of the spandrel panel with other façade elements.
- If original design information is not available, another option is to design a simplified panel using appropriate materials such as painted wood or metal.

Transoms:

- These bands of glass are found on many buildings and they often align at the same height in a block. Maintaining this line will help to reinforce a sense of visual continuity for the street.
- When transoms are covered and original moldings and window frame proportions are concealed, the impact of the store front is weakened. If the interior ceiling is now lower than this glass line, move the dropped ceiling back from the window to maintain its historical dimensions.
- Some transoms have hinged panels to allow natural ventilation. Restore these to working order where feasible. Used in combination with ceiling fans, these operable transoms can be very effective in improving comfort levels when full air-conditioning is not as necessary.

Building which preserve the transom



Great example of a façade with intricate details well restored and maintained.



Hermann, Missouri

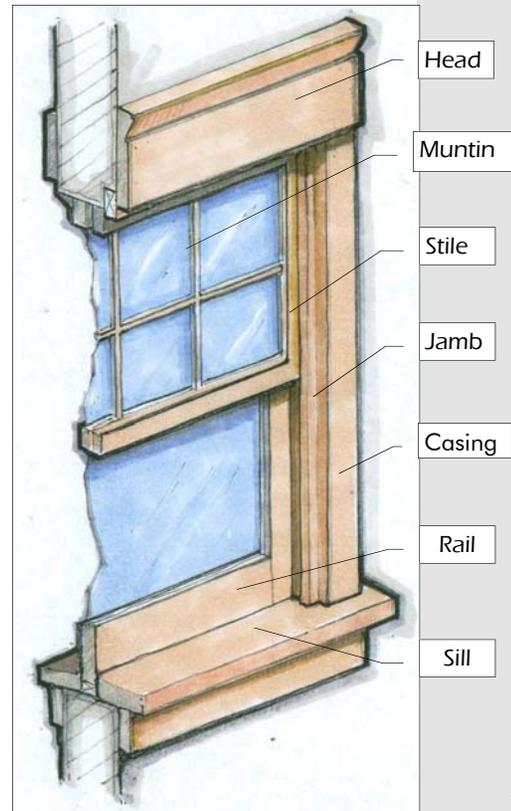
Upper Facade

Windows:

- Typical upper windows are vertically oriented and uniformly spaced across the building front. This rhythm of upper story windows is an important unifying feature of downtown, because it is repeated on most buildings.
- Any material covering the original window should be removed. These materials include masonry infill, wood panels, or mismatched windows. The original window structure should be maintained and restored.
- If the original window still exists, it should be restored to serviceable condition when possible.
- Replace only missing portions of original elements where feasible. Sometimes trim elements and other materials must be removed in order to repair or refinish them. Always devise methods of replacing the disassembled materials in their original configuration. Code trim pieces, for example, so you can replace them accurately.
- Installation of interior storm windows should be considered.
- If the existing window is beyond repair an appropriate replacement window of the same size and profile should be installed.
- Use design elements that reflect the building's style. A simplified interpretation of similar features on comparable buildings may be considered.
- Window shades or curtains in colors that coordinate with accent trim should be encouraged.
- If the ceiling is lower than the window head, pull the ceiling back from the window to keep the original height at the window.
- Dimensions of glass or screen for storm windows should be the same as the area of the glass.
- Operable windows and transoms substantially save energy. Opening the top and bottom sash of double hung windows promotes air flow.
- Insulation, weather stripping, trim repair and storm windows can increase the energy efficiency of windows.
- Interior storm windows are preferred due to the increased visibility of the exterior of the window and its detail.
- Storm windows should be made of wood, aluminum or plastic and should be painted.



Maintained Upper Story Windows



Shutters:

- Building owners are encouraged to re-install shutters where they once existed.
- All shutters should be horizontally slatted and be the size, shape and height of the original window.
- Shutters should be in the open position or operable.
- Shutters provide accent color that ties in with street level design.
- Shutters give an occupied appearance to the 2nd and 3rd story floors.
- Closed shutters are recommended as a means of abandoning a window.

Cornice and Architectural Details:

- Replacement of missing cornices or architectural elements should be based on accurate duplications of original features. In some cases, an entire detail must be reconstructed. In the event replacement is necessary, the new material should match the original in design, color, texture, and other visual qualities. Photographic evidence is a good source for research.
- If the cornice is missing, a similar cornice of like size and scale should be installed.
- If no evidence exists as to form and detail, the reconstructed cornice should be as simple and non-intrusive as possible.
- If the cornice is intact it should be repaired and maintained as required.
- Where architectural details have been removed, look at photos for details to use as patterns for new designs.
- Where exact reconstruction of details is not feasible, consider developing a simplified interpretation of the original, in which its major form and line is retained.



Upper Story Shutters in Downtown



Cornice & Architectural Details have been maintained.

Rear Façade

The rear facade typically faces an alley and provides access for deliveries and pick-up. In some cases customer parking is provided behind a building and entry to the business through the rear elevation is desirable. Attention to the appearance of the rear elevation can be extremely important to the quality of the customers' shopping experience. Consider how image can be improved here, while accommodating service functions.

Entry Door:

- The rear door will no longer be just for service but should project a sense of openness and welcome.
- Customers might also feel a loyalty or sense of 'special access' by using this door and the business can build on this loyalty by catering to that customer and improving that experience.
- A new door and hardware with a large area of glass may be considered.
- A small canopy or awning may provide some of shelter.

Upper Rear Façade:

The upper rear facade elements should be treated similar to the front. Too often this is a façade that is neglected and allowed to deteriorate.

- Windows should be restored or replaced.
- Gutters and downspouts should be in good repair and painted.
- Use materials and colors that coordinate with the main façade so customers will learn to recognize both entrances are related to the same business.
- Use a smaller version of the front sign to identify the rear entrance.
- New exit stairs and balconies can enhance the marketability of second story space, especially when these lead out onto parking lots located on the back side of the building. Encourage installing new stairs that comply with current building codes.



Rear Entrance & Upper Rear Façade are well cared for and inviting



Good rear entrance and landscaping

Fences:

- Fences should be designed to harmonize with the surrounding structures in both scale and color.
- Some materials which may be appropriate include masonry, wood and wrought-iron.
- Chain-link should not be a permitted material.

Trash, Ancillary Structures, & Utilities:

Sensible, yet firm enforcement of the city’s building and nuisance codes will be required and should be a priority throughout the Hermann Downtown.

- Trash containers should be placed in an enclosure or behind a screen.
- Enclosures and screens should harmonize with the surrounding buildings in scale and color.
- Landscaping can also be used to screen air-conditioning condensers and utility transformers.
- Use solid wood or masonry partitions, lattice screens, or hedges to screen trash areas.
- Any ancillary structures should match the surrounding buildings style and scale. These structures must be well maintained.
- Keep electrical service boxes and conduits in good repair and painted.
- Encourage using a color scheme on these screens that matches that of the rest of the building.



Screen waste receptacles or large dumpsters



Regulations for refuse haulers can be established and enforced to prevent situations like this.

Existing Non-Historic Buildings and New Construction

Some buildings in the Downtown do not have historic features or ornamentation. Many were built with simple fronts. These buildings and any new construction should implement the following standards:

- New construction should be of design considerate of traditional storefront elements described in these guidelines or on nearby historic buildings that contribute to the fabric of downtown.
- Use a simple design, complementary to the downtown, with three basic elements; a unified paint and color scheme, an awning, and non-intrusive signage.
- Emphasize horizontal features that can align with other buildings.
- Encourage highlighting a simple cornice, a band of color, a sign panel or an awning edge that can line up with similar elements on the street nearby.
- Some newer buildings downtown are set back from the street, with space in front for parking. These buildings are intended to relate to cars more than pedestrians. Landscaping elements that will enhance the rhythm and front position of adjacent buildings should be encouraged.

Color Guidelines

Use color to your advantage. Some of the most noticeable improvements are achieved simply with a fresh paint job. The most effective and economical schemes often start with the natural colors of the building materials themselves as a base, such as the native red of many brick buildings. Utilize the color guidelines adopted by the Landmarks Commission for appropriate color selection. Additionally, the following techniques should be encouraged:

- Use only one base color for the majority of the background wall surface, but use a different color for accents. Do not paint a building entirely one color.
- Base colors should be muted earth tones or pastels.
- Look for “built-in” features of the façade that can be highlighted with an accent color.
- Window frames, sills, moldings, and cornices are potential elements to dramatize with a contrasting color.
- Use bright colors only in small amounts. Place them at the first floor level to direct the customer’s eyes to the business.
- Consider accent colors for signs, awnings, and entrance doors.
- Earth tones will hold their color well, as will darker pastels. Check for color stability in ultra-violet light; some colors, such as red, tend to be unstable and will shift in hue over time.



Colors match surrounding buildings



SUSTAINABLE DESIGN

Introduction

The construction of sites and buildings have a significant impact on the natural environment. The operation of a site and a building can also affect the air, land and soil of the downtown. Sustainable Design measures seek to lessen the impact on the natural and built environment. Such design efforts also aim to increase the efficiency at which buildings operate, in regards to energy use and operating costs. The design process is comprehensive, beginning with site selection and orientation; through specification of sustainable materials to energy efficient operating systems.

Downtown Hermann is a built environment of many historic buildings, public streets, parking lots, a few vacant lots and open space. Sustainable Design measures can be applied to both existing buildings and new buildings. The U. S. Green Building Council (USGBC) has become the leading organization in developing standards for sustainable design and operations of buildings. The U. S. Green Building Council's certification system is known as Leadership in Energy and Environmental Design (LEED). The majority of LEED designated buildings are new construction projects, however the USGBC has also developed standards for the upgrade of existing buildings.

Sustainable design is a broad and encompassing initiative which strives to create a built environment which is good for both man and nature. The following recommendations only introduce the basic fundamentals of sustainable design regarding downtown buildings and environments. For additional information beyond these guidelines, numerous resources exists, such as the following:

- U. S. Green Building Council (USGBC) www.usgbc.org
- Whole Building Design Guide www.wbdg.org
- American Society for Testing and Materials International (ASTM)
ASTM E2432— Standard Guide for General Principles of Sustainability
Relative to Buildings www.astm.Standards.e2432.htm



Permeable pavers for parking area allow stormwater to percolate back into the soil and groundwater.



Interior flooring fabricated from bamboo, a rapidly renewable resource.

Fundamentals

Sustainable design measures are constantly changing, however there are six fundamental principles which constitute sustainability.

- 1) **Optimal Site Potential:** Consider site selection, building orientation and existing natural features of a site including topography, drainage, landscape and natural habitats. The rehabilitation and reuse of existing buildings should always be evaluated as an alternative to new building construction.
- 2) **Efficient Use of Water:** The design and use of water systems in a building maximize efficiency and recycle water for on-site use when feasible. Site design should seek to reduce stormwater run off from the site. Use best management practices (BMP) to limit stormwater run off, clean storm water and trap pollutants in the water before discharging into the sewer system.
- 3) **Environmental Materials and Resources:** Utilize building materials with a high percentage of recycled content or contain rapidly renewable materials such as cork flooring, bamboo cabinetry, wool carpeting, etc. Specify or use materials or items which are manufactured within proximity to the project site. Ideally, this proximity is no more than 500 miles.
- 4) **Optimal Energy Use:** The operation of a site and building identify methods for increased energy efficiency or use renewable resources such as solar or geo-thermal energy.
- 5) **Interior Environmental Quality:** Identify methods for creating a healthy environment, and increasing the comfort of building users. Proper ventilation, use of natural light, and moisture control are a few methods to ensure a quality interior space.
- 6) **Optimal Operations and Maintenance Methods:** Utilize building systems, furnishings and finishes which will have minimal operations and maintenance needs. Such systems will require less energy, less water and can be maintained with natural cleaners which are not toxic to the environment or occupants.



“Green Roofs” reduce stormwater runoff, reduce heat gain and provide aesthetics for viewing/experiencing by building users.



Solar panels provide an additional energy source for building power needs.

Elements

Sustainable design elements are extensive. The following list seeks to introduce only a few recommendations which are applicable to Downtown Hermann.

- 1) **Parking and Service Areas:** Minimize stormwater runoff by using pervious pavement materials such as pervious paver systems or pervious concrete. Such systems will allow stormwater to percolate into the soil and not into the public stormwater sewer system.
- 2) **Building Materials:** Utilize materials which are composed of recycled materials or manufactured from rapidly renewable materials, which are made from plants that are typically harvested within a 10 year cycle. Examples include bamboo flooring, linoleum flooring (made of wheat flour and linseed oil) cotton batt insulation and wheatboard cabinetry. Recycled bricks from demolished buildings should also be used for new building construction or restoration projects.
- 3) **Alternative Transportation:** Promote by providing secure bicycle storage and changing/shower facilities for employees.
- 4) **Solar Energy Alternatives:** Install solar panels to supplement the power system for commercial and residential buildings. Utilize prefabricated solar water heaters to provide the majority of the hot water needs for buildings.
- 5) **Stewardship:** New wood products, including construction lumber, should be certified by the Forest Stewardship Council, which promotes responsible forest management.
- 6) **Lighting:** Develop a lighting plan for public spaces which minimizes excessive lighting, which affects night sky viewing and the migratory patterns of birds. Flags which require lighting should be lit from the top shining down on the flags instead of being lit from the ground, projecting light into the sky.
- 7) **Operations:** Use timers on public fountains and lights in non-essential areas to shut off lights after 1:00 a.m., in order to reduce energy consumption.
- 8) **Landscaping:** Plant native landscape materials which can survive on natural rainfall once established.
- 9) **Street Furnishings:** Specify site furnishings such as benches, waste receptacles, bollards, and planters which are made from recycled plastic materials.
- 10) **Water Conservation:** For building exteriors capture rain water runoff from roofs in rain barrels for irrigation use or direct to rain gardens on site. Consider waterless urinals or low flow water closets to limit potable water use inside buildings.



Permeable pavement system installation.



Rain garden with native landscape plants.



Solar water heater.

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BUILDING DESIGN EXAMPLES

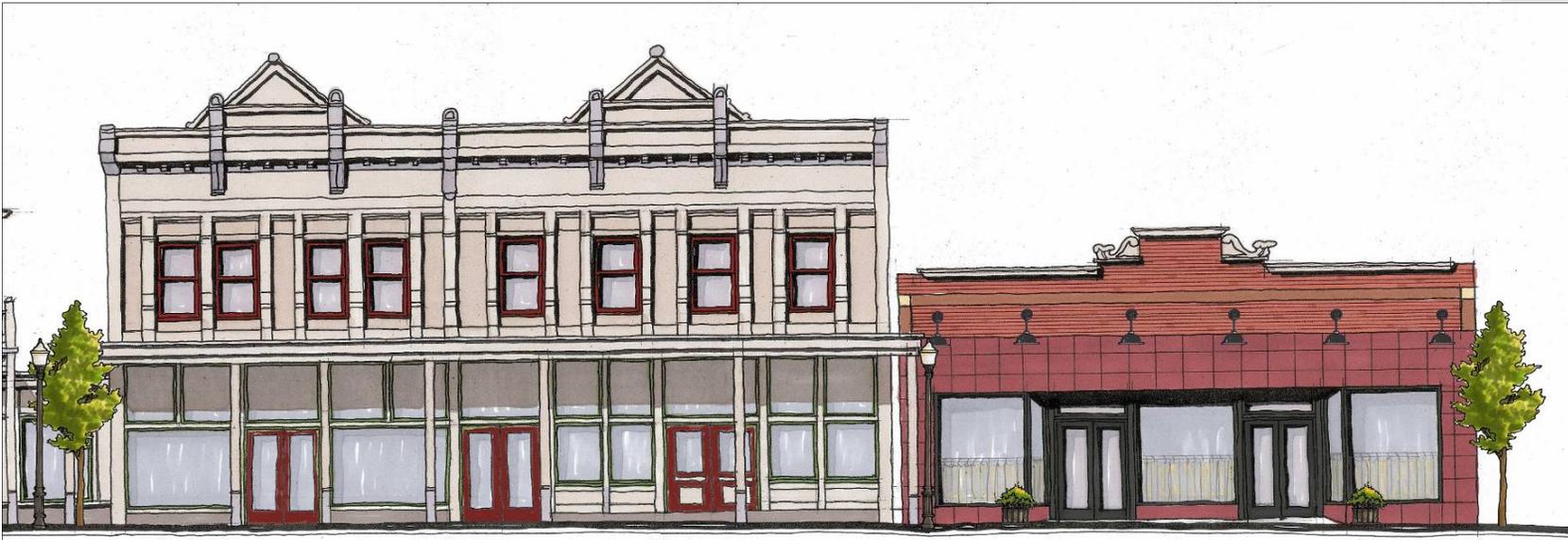
North 4th Street



- Restore transom
- Utilize canvas/fabric awnings
- Remove paint from masonry façade
- Add shutters to upper story windows
- Add lighting to building

- Restore original entrances
- Add appropriate scaled signage
- Use more compatible paint colors
- Streetscape of lights, trees & site furnishings

North 4th Street



- Restore transom
- Use more compatible paint colors
- Restore upper story windows
- Add appropriate scaled signage
- Add lighting to building
- Restore original entrances
- Streetscape of lights, trees & site furnishings

North 4th Street



- Use more compatible paint colors
- Restore upper story windows
- Add shutters to upper story windows
- Add appropriate scaled signage

- Add lighting to building
- Remove frame and metal awning
- Restore original entrances
- Streetscape of lights, trees & site furnishings

North 4th Street



- Remove paint from masonry facade
- Use more compatible paint colors
- Restore original entrances

- Restore upper story windows
- Add appropriate scaled signage
- Add lighting to building
- Streetscape of lights, trees & site furnishings

STREETSCAPE DESIGN GUIDELINES

The term Streetscape typically refers to exterior public spaces located between the building facades on one side of the street and the building facades on the other side of the street. An organized streetscape with combined lighting and way-finding signage is more efficient and user-friendly for visitors to the Downtown.

Design Coordination

A comprehensive design approach to the Downtown will result in a more successful project. The Historic District can display a sense of order and rhythm through the repetition of design elements on buildings and street furnishings. A sense of arrival should exist upon entering the Downtown.

- The district should have well lighted and maintained streets and walks.
- Particular care should be devoted to the main entries and corridors as these will be the first impressions of the downtown area.
- Good, clear signage provides an invitation to enter, navigate downtown and visit attractions.
- Establishing uniformity in streetscape furnishings helps to give a visual cohesiveness to the downtown district.
- Enhancing the historic brick architecture and reinforcing the existing context capitalize on the character of the downtown.
- Utilize the Building Design Guidelines to assist in the appropriate restoration of buildings within the downtown.

Infrastructure

- Overhead electrical and telephone lines may pose a visual distraction from the overall unity of downtown. Although costly, relocation of overhead utilities should be considered, especially with each new development/redevelopment project.
- Curbs should be in good repair and of consistent materials along the street. There should be no gaps or areas of uneven elevation along the curb line. At all street intersections there should be ADA compliant curb cuts.
- Poorly working or non-existent storm drains can create an undesirable situation at street intersections when runoff water collects in large pools. This condition makes pedestrian access virtually impossible and must be corrected.

Infrastructure

- Street improvements (such as street pavement, curbs or sidewalks) should be coordinated at the same time as public works projects in an effort to minimize street closings and costs.
- New or replacement curb and gutter should be a vertical curb.

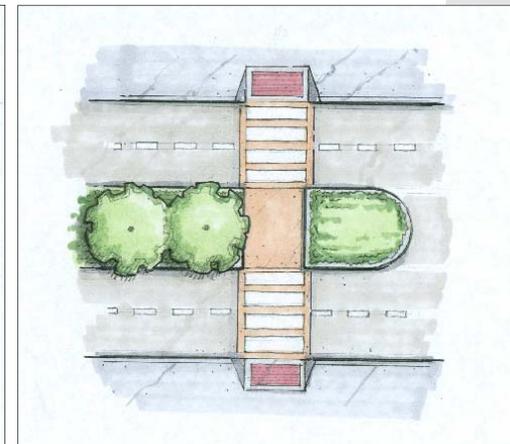
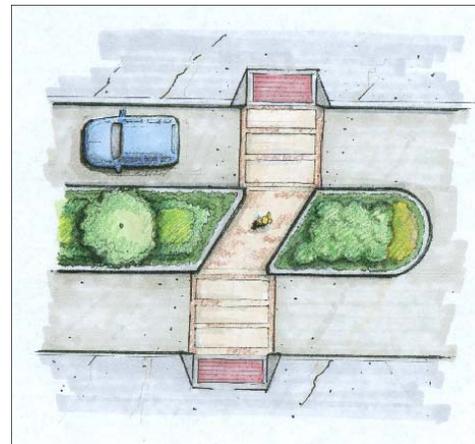
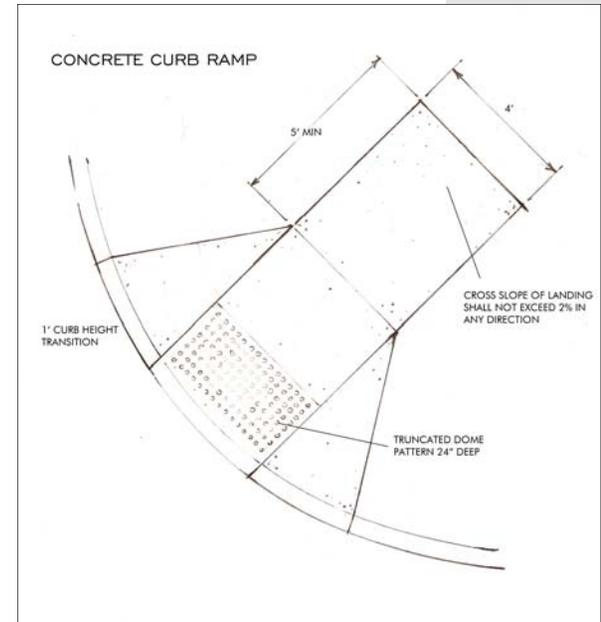
ADA Accessibility

Accessibility on public sidewalks is required by law, as per the Americans with Disabilities Act. Without the required curb ramps, sidewalk travel in urban areas is dangerous, difficult, and in some cases impossible for people who use wheelchairs, scooters, and other mobility aids. Curb ramps allow people with mobility impairments to have access to the sidewalks and buildings.

When streets and roads are newly built or altered, they must have ramps wherever there are curbs or other barriers to entry from a pedestrian walkway. Likewise, when new sidewalks are built or altered, they must contain curb ramps wherever they intersect with streets or roads.

Pedestrian Access and Sidewalks

- A clean, clear and well lit pathway for pedestrians should be provided from any remote parking area to the Downtown. This pathway will also need to comply with Federal ADA Accessibility Guidelines.
- Sidewalks should run continuously through an entire block to create a clearly defined pedestrian pathway and minimize conflicts between people and vehicles.
- All roadway crosswalks should be clearly marked with signage and striping.



Suggestions for sidewalk alignment and designation.

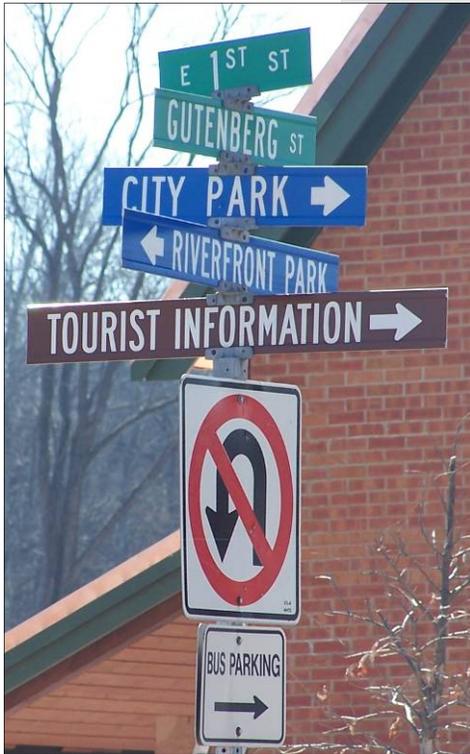
Signs and Banners

Signage should be used to identify, define and promote the downtown area and its activities. Individual building and business signage discussed in Section II. A. 8) and wayfinding techniques and components to assist in navigation through the area will be addressed in Section V.

- Street name signs should be chosen and installed that are distinctively different from the street name signs located in the rest of the community. This will reinforce a “feeling of place” in the downtown.
- The style of the street name and street address signs should complement if not match completely. The style, font, and colors of these signs should be easily read.
- The style of the street name and street address signs should complement if not match completely. A ‘historic plaque’ type can provide a very elegant touch. The style, font, and colors of these signs should be easily read.
- Merchants can be encouraged to adopt the same type of sign.
- Murals on buildings should be reviewed by the city to ensure quality of composition and specification.
- Signage should be consolidated whenever possible.
- Regulation & Directional Signage - In order to reduce visual clutter an effort should be made to combine signage where possible.
- The City should continue utilize the existing banner brackets for event and destination promotion.



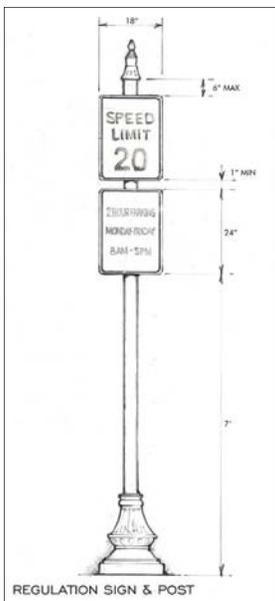
Examples of cluttering of signs.



Good Examples of Street Signs



Cohesive Street Signs Downtown

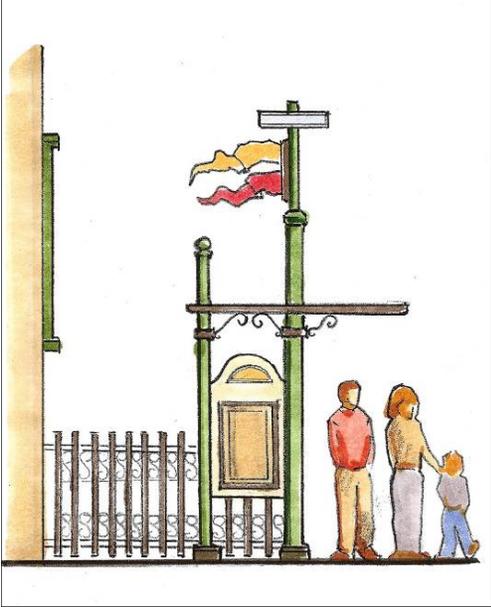


Stop Sign

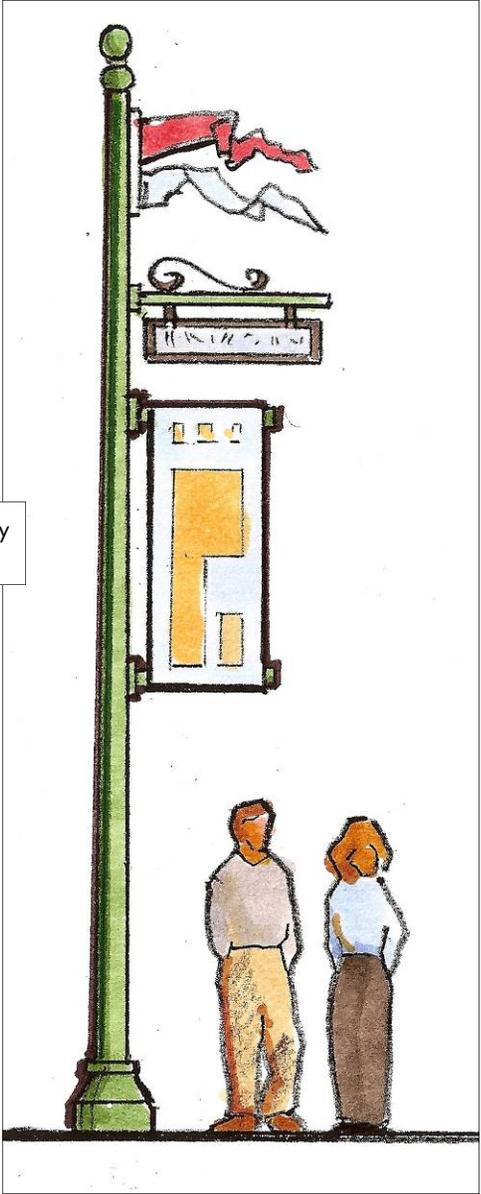
Good Examples of Banners



- Banners can provide a colorful streetscape component. Banners mark seasonal change, holidays and special events.
- Banners and other temporary signs should be allowed, but restricted as to size, prevalence, and length of display.
- Hung from the light poles, seasonal banners or decorations approved by the City can tie the downtown area together.
- Banners can also add a sense of excitement while providing information about upcoming events or festivals.
- Banners should be well designed and are most effective with a simple design, repeated throughout downtown, minimal lettering, and no sponsor panels.
- The banner brackets used for these banners should be maintained by the City and only for use by the City.
- Banners should be changed on a regular schedule and replaced as needed.
- Balloons, pennants, and other distracting sign novelties should not be allowed in the downtown area.



Celebratory Signs.



Hermann, Missouri

Lighting

Lighting of the Downtown should provide the minimum illumination required by the Missouri Department of Transportation for the road surface.

- The sidewalks should be provided with pools of light at a higher level of illumination than the roadway.
- Storefront lighting can add to the pedestrian walkway illumination.
- Street lighting should be on pedestrian height poles and project light down onto the sidewalk not out into second floor windows.
- Lighting should be uniform in style, type, height, and brightness for each designated area.
- The antique replica light poles are not preferred unless it can be shown that they previously existed, however, the style used in the current streetscape plans should be continued throughout the downtown.
- Existing lighting poles with brackets for banners can effectively display temporary or seasonal City approved decorations, and should be utilized more often.
- An overall lighting design strategy should be developed to ensure appropriate lighting levels.
- The lighting plan should not neglect parking areas, rear entrances, and alleys.



Existing lighting on First Street based on historical photos from 1930's, appropriate for primary commercial corridors.



Existing lighting from Schiller and fourth are good examples of pedestrian scaled lighting on secondary commercial

Site Furnishings

- Benches within the streetscape encourage social interaction which contributes to a successful neighborhood.
- Planters and window boxes provide color and can be a volunteer rallying point if maintained by a local club or organization.
- Public art and sculpture can provide an inspirational atmosphere in which people enjoy lingering.
- Trash receptacles provide a place to dispose of potential litter.
- Grouped together, such furnishings will enhance the downtown and provide a gathering place for pedestrians.
- Furnishings should be coordinated with light and sign poles to present a unified look to the streetscape.
- Street furnishing will invite people to walk around and linger in the downtown.

Other Potential Site Furnishings

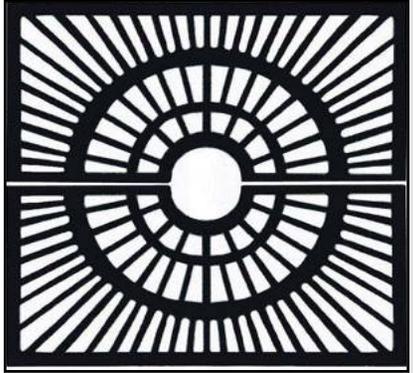


Water Fountain



Bollard

Planters



Plastic Tree Grate

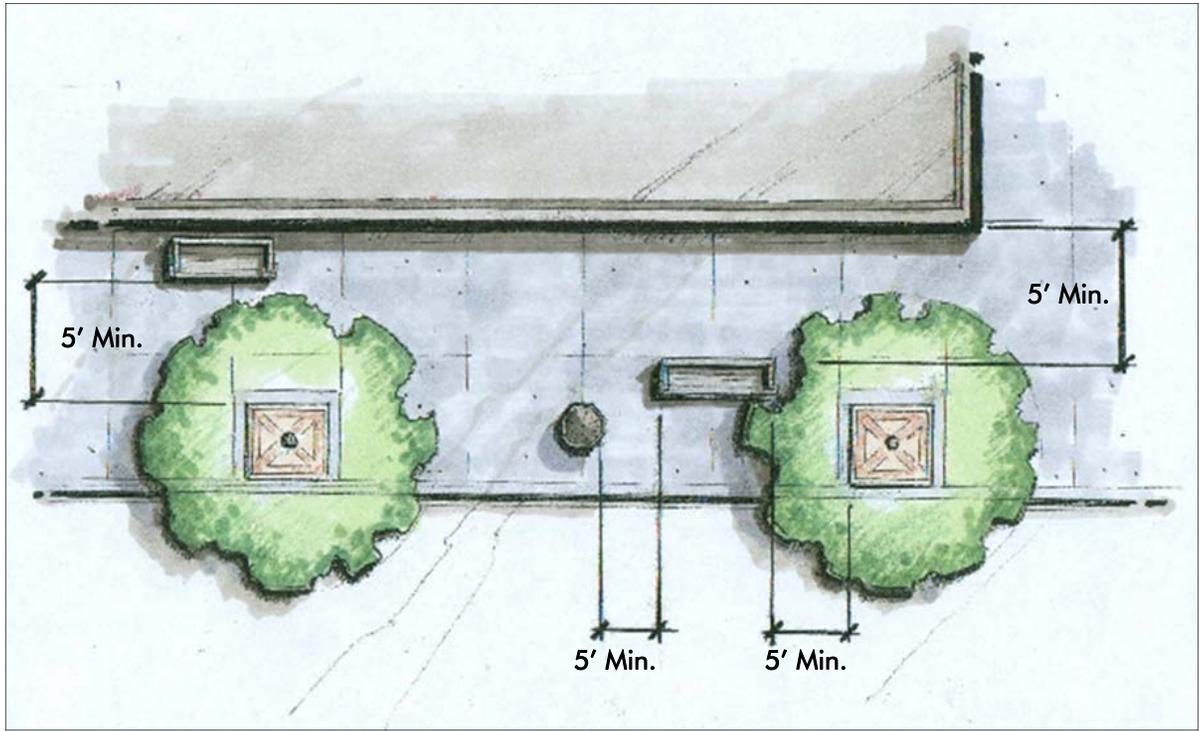


Existing Downtown Site Furnishings



Site Furnishings

- The minimum distances shown represent suggestions for installation placement. Actual distances may vary due to site conditions.



Landscaping

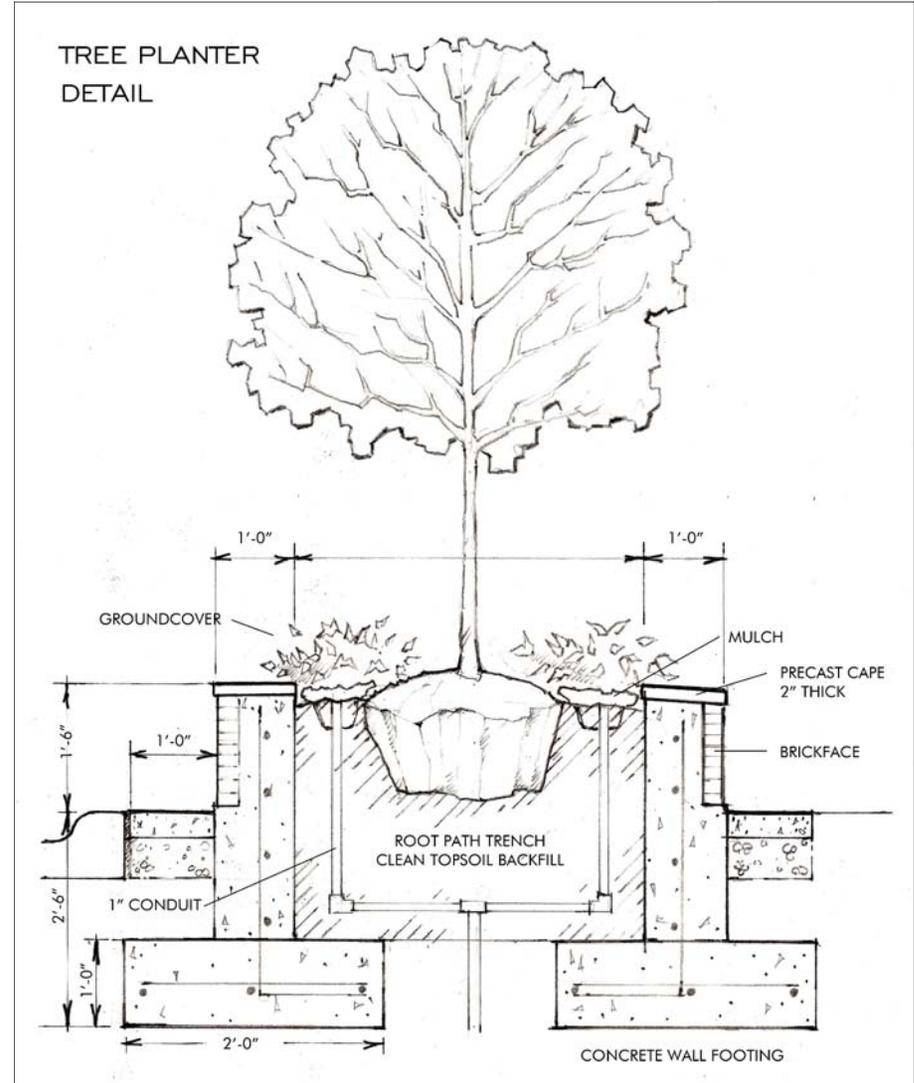
- Landscaping zones can also be identified along side streets to complement, but not obstruct building facades.
- If landscaping in front of a business is desired, plants in movable containers should be considered where no available landscape strip is present. Containers should never be placed in the pedestrian pathway but rather immediately adjacent to buildings or curbs.
- Trees work best when planted in groups or islands where they can thrive on larger volumes of soil.
- Trees and shrubs should be of hearty variety common to the region but specified at a size which will allow a minimum of seven feet of clearance before any lateral branching begins.
- The fullness of the tree should be considered to avoid excessive roosting of birds.
- Fruiting berries or other intricacies of a tree's annual cycle should be a maintenance and clean-up concern.
- Trees should also be chosen for their root growth structure. Care should be taken to select varieties with downward growing roots, not lateral growth that will damage surrounding concrete features.
- Shrubs should be massed in groupings of five to seven plants with no more than two different species within a planting bed.
- Locate plantings in traditional areas of the site. For residential buildings, plantings along fences, walks, foundations, and at porch edges are good locations.
- Tree City USA Initiative has been an integral part of identifying new areas for appropriately scaled street trees. Contact the City for more information on this program.



Tree Planter

Quality design and installation of tree planters will help to ensure the healthy growth of street trees and visually enhance the downtown district. Listed here are some specifications which help to achieve this goal:

- Hot dip galvanized dovetail anchor slots.
- 1"-4" O.C. Max horizontal spacing around perimeter of concrete planter wall for 3/16".
- Galvanized, triangular—shaped wire ties sized to extend within 1" of exterior masonry.
- Street trees tend to be one of the most controversial streetscape elements, but they are well worth the trouble. The natural feeling provided by correctly placed, selected, and cared for trees is critical to connecting with pedestrians.
- Root path trench, backfilled with 70% sand/30% soil mix.
- Jet water in layers to settle and mycorrhizal fungi to soil next to root ball (1 packet per 1" caliper tree).
- Guy wire to be 12 G, double strand and twisted. Hose to be 5/8 reinforced rubber garden hose of one color.
- Extend hose a minimum of 2" beyond any trunks and branches for protection from wire.
- Use metal stakes, 2 per tree, at 180 degrees.



Rain Gardens

- Rain gardens are low-lying planted areas designed to collect rainwater from adjacent impervious areas; thus reducing erosion and pollution, and the amount of necessary storm drainage infrastructure. They help to facilitate filtration and absorption of rainwater back into the ground.
- Low maintenance native plants are recommended for these areas due to their greater tolerance for climatic and soil conditions, as well as extreme moisture.
- Proper design and plant selection help to maximize the rain garden's efficiency.
- Low cost and high environmental benefits.
- Small rain gardens can have a large impact on the reduction of stormwater run-off.
- Well designed gardens are an aesthetic benefit to the streetscape and provide a practical function.
- Together with the introduction of porous pavement in parking areas they help to reduce the amount of standing water.
- Rain gardens replace typical planted areas so as not to require a reduction of parking spaces.

Maintenance

- Location of gardens need not impede routine street cleaning and maintenance.
- As with any planting area, regular weeding and cleaning of gathered litter may be necessary.
- Some removal and replacement of non-thriving species may be necessary.



Portland, Oregon



Maplewood, Minnesota



Seattle, Washington



University of Wisconsin

WAYFINDING

Wayfinding Principles

Wayfinding is an indispensable tool for directing travelers to destinations while at the same time creating a positive first impression. The term wayfinding was originally coined by Kevin Lynch in his seminal 1960 book *The Image of the City*. Lynch presented the concept that people use a cognitive map to move through their environment to their destination. Wayfinding develops a system to assist travelers in interpreting the map.

Wayfinding systems have been used for many years in institutions such as colleges and corporate headquarters. As it is commonly recognized today wayfinding helps travelers *find their way* to the destination, in this case Downtown.

In relation to community planning and specifically to downtown Hermann, the goal of the wayfinding system is to make the journey to Downtown as transparent and seamless as possible. Furthermore, by taking a comprehensive approach in developing the wayfinding system it can reinforce the community's unique identity and sense of place. This can be accomplished through four main aspects that can be controlled and enhanced through appropriate design and building codes:

Architecture:

- Visual clues of buildings and other features of a street aid people in knowing their location and the direction of their destination without the use of signage.
- Strong architecture, such as the Gasconade County Courthouse, serve as landmarks and orientation points. These points are often destinations as well as starting points and other wayfinding techniques should exploit this aspect.
- Buildings themselves have visual aids that draw our eyes to where we expect an entrance or a shop window to be located.



Wayfinding kiosks can be an easy to spot element of the downtown pedestrian system.

Hermann, Missouri

Sight Lines:

- The motorist will feel most comfortable in maintaining visual contact with his or her destination and will want to make as few direction changes as possible.
- Clean, clear lines down streets at key intersections should be maintained.
- Avoid allowing buildings to encroach or block these lines.
- Repetitive landscaping and furnishings can enhance and draw the eye down these streets, but care must be taken that these items do not obstruct important navigational landmarks.

Lighting:

- Lighting can be used to encourage routes and pathways.
- Warmly lit sidewalks and streets draw the customer onward. Warmly lit storefronts and entrances draw the eye and provide the customer with the information needed to get to the business.
- A repetitive line of lighting can be a very effective navigation tool.
- Poor lighting causes missed information and leaves an unsafe impression.

Signage:

- Uniform signage at important decision points is a critical element of downtown wayfinding.
- Excessive signage will lessen the effectiveness of individual signs. Fewer, easy to read, appropriately placed signs are preferred.
- Signs that lack charm, or are standard DOT
- Routes actually direct travelers around Downtown
- Signs are too small and consist of different sizes, colors, and types



Wayfinding Signage
Webster, Missouri

Wayfinding Components

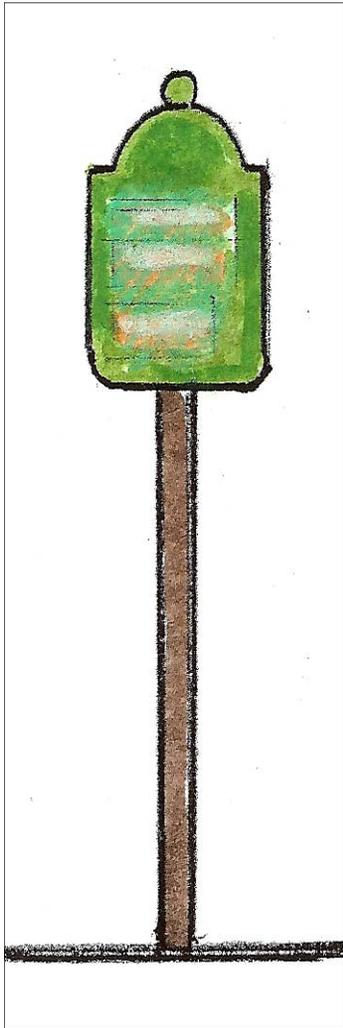
Wayfinding systems are made up of components that create an arrival sequence to the Downtown. The system consists of common themed signs, of various types that direct travelers to attractions. All too frequently existing wayfinding systems are inadequate. Typical problems with existing wayfinding systems include:

- Lack of accuracy, with arbitrary sign location
- Visual clutter from too many signs and foliage
- Lack of focus in directing traffic to Downtown
- Diffuse allocation of signs, across many “entrances”

A successful wayfinding system is made up of many components that can be utilized in a variety of configurations. Some communities may require only a few of the components or can gradually add components into a complete system. Determining how many of the components a wayfinding system needs, depends upon the size, number and type of street.

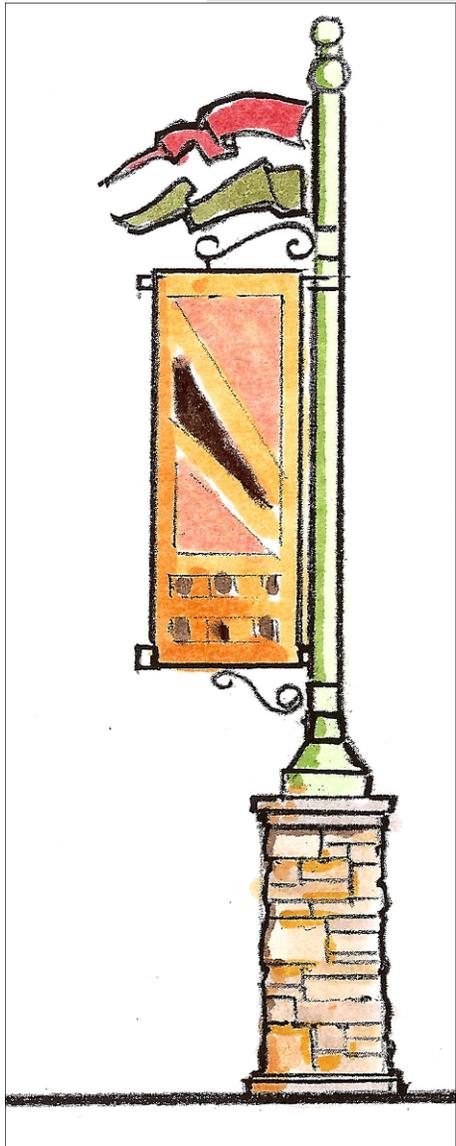
Arterial and local collector streets are typically the location of gateway, historic, historic district, and trailblazing signs. These streets comprise the transportation corridors which focus the traveler into the downtown. They are discussed in detail as follows:

- Historic District Corridor— The central component and primary focus of the streetscape improvements and wayfinding system. This corridor includes the final approach, as well as the main arteries of the historic district. Signage types for this corridor typically include Historical District Gateway and Proximity signs.



Proximity Sign

Historic District Gateway Sign

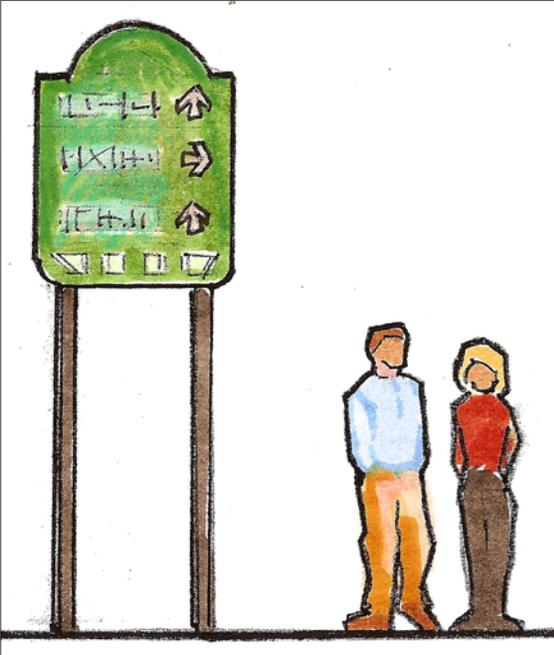


Hermann, Missouri

- Residential/Commercial Entry Corridor—The areas immediately surrounding Downtown, a secondary focus for streetscape improvements and primary focus for residential improvement programs. Usually contain a small to moderate amount of commercial businesses, converted residential, and residential. Signage types for this corridor typically include Trailblazing and Proximity signs.
- Commercial Entry Corridor—Typically the beginning of the wayfinding system for travelers. The corridor consists of commercial and institutional uses and should focus on simple design treatments that reflect the scale and traffic. Signage types for this corridor typically include Primary Gateway and Trailblazing signs.

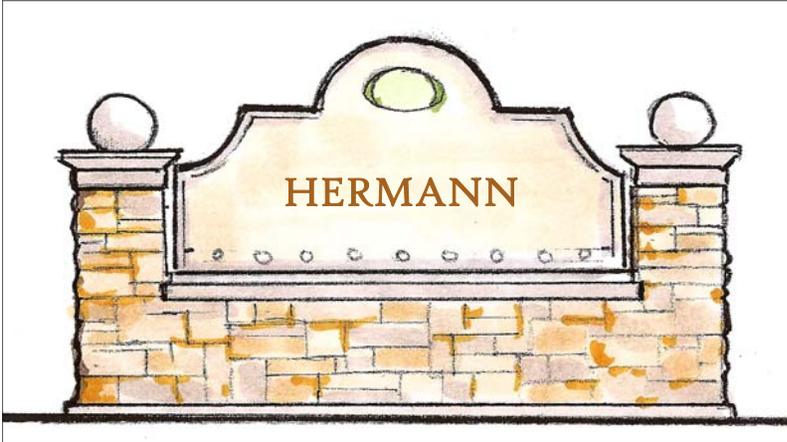
As stated earlier, a successful wayfinding system is made up of many components, including but not limited to these categories of signage:

- Primary Gateway Sign—Serves as the “Welcome” to a visitor, creating the first impression of the community. The sign should be significant, serving as a landmark.
- Trailblazer Sign—Utilitarian purpose combined with unique branding and design elements. Attractions to consider as destinations on Trailblazer Signs include; Downtown, Historic Districts, museums, event areas, government offices, parking, colleges/universities, and visitor centers. Signs should be located at or near a key transportation node.
- Historic District Gateway Sign—Creates a boundary for the Historic District, should be used within the Historic District Corridor. These signs should reflect the size, scale and character of the architecture within the district.
- Proximity Signs—In close proximity of the attractions these signs direct visitors to the destination.



Trailblazer Sign

Primary Gateway Sign



Hermann, Missouri

All signs and banners included in the wayfinding system should have a simple and uniform design. Above all, the signs need to be brief and easy to read with large type face, appropriate coloring, and adequate character spacing. The wayfinding system signs should be unique and stand out in their surroundings. Sign guidelines should be developed using the Manual of Uniform Traffic Control Devices, published by the Federal Highway Administration (FHWA).



IMPLEMENTATION

Recommendations

The first step toward implementing the recommendations contained in this report is to continue to build public support and buy-in. Communicating the benefits of Building Design Guidelines will help to build understanding of their intent and mitigate opposition.

- Begin the process of adopting the Design Guidelines pursuant to the Historic District Regulations. This process should be public and provide the opportunity for additional public input from the business and property owners affected.
- Begin the process of developing a wayfinding system. Charge the Landmarks Commission or Entrance Committee with the project oversight. The committee should meet with major attraction owners/managers, tourism officials, government officials to discuss which attractions should be included in the signage system. (Specifically, those listed on the trailblazer and proximity signs) Next determine the amount of money that is available from those participating groups and identify other mechanisms to fund the improvements. The DREAM Financial Assistance Review and Strategic Plan will address funding in greater detail. Finally, contract with a sign company to develop the appearance, manufacture and installation of the signs.
- Continue the Phase II Streetscape Improvements that have begun through CDBG funding. Again, additional improvements will be taken into consideration in the development of the Strategic Plan.
- Begin the process of identifying banks interested in participating in Building Façade Renovation Loan programs. These programs can be low interest loans funded by banks and sometimes grants and can be used to encourage façade renovation that is consistent with the guidelines of this plan.
- The City should review its code enforcement practices and ordinances to see if adjustments or improvements are necessary. Effective practices will include regulations that:
 - ◇ Address more than just safety concerns. This is an appropriate tool to ensure aesthetics as well.
 - ◇ Secure the condition of the downtown structures for longevity. Quality construction practices must be insisted upon.
 - ◇ Promote the conservation and efficient use of resources. “Green” and other energy efficient, innovative building methods should be considered and can be required through codes.
 - ◇ Are firmly enforced. This will demonstrate to future developers that their development risk will be minimized because Hermann will insist on the same quality of structures surrounding their investment property.

- ◇ Can be flexible if reasonable variations will not compromise quality or other construction aspects. Any governmental process needs to be able to bend for unusual situations.
- ◇ Recommendations for improvement to the Historic District Regulations should be implemented
- Understand that in order to create the resources that will ultimately achieve the goal of a successfully revitalized downtown, it is important to understand that additional taxes, districts, or legislation may be required. The benefits created for downtown by these new mechanisms should far outweigh any new costs to the residents, property owners, or consumers. The Landmarks Commission should provide support where possible to these efforts.
- The Landmarks Commission should organize a seminar series aimed at area contractors and downtown property owners concerning appropriate restoration procedures for downtown buildings. The main speaker can be obtained from, or suggested by the State Historic Preservation Office, the City can present these guidelines, and a business, perhaps a bank, could sponsor lunch.
- The Landmarks Commission should work with the City and Chamber to develop a sponsorship program whereby individuals or businesses can “buy” specific street furnishings for public use. A catalog can be printed that will show the costs of items, which should include installation and a plaque with a message from the sponsor. The City should do all installations and will maintain ownership.

These “first steps” will provide the necessary momentum and understanding necessary to continue the revitalization efforts. Additionally, steps and action items will be included in more detail as the DREAM Strategic Plan is formulated and the recommendations that concern complementary issues are addressed.

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APPENDIX A: SECRETARY OF THE INTERIOR 'S STANDARDS FOR REHABILITATION

The standards that follow were originally published in 1977 and revised in 1990 as part of Department of the Interior regulations (36 CFR Part 67, Historic Preservation Certifications). They pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompass the exterior and the interior of historic buildings. The Standards also encompass related landscape features and the building's site and environment as well as attached, adjacent or related new construction.

The Standards are to be applied to specific, rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken in the gentlest means possible.

8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.