

Sikeston, Missouri



DOWNTOWN
REVITALIZATION &
ECONOMIC
ASSISTANCE FOR
MISSOURI

BUILDING AND
STREETScape
DESIGN GUIDELINES
AUGUST 2009



ACKNOWLEDGMENTS



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BUILDING AND
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DESIGN GUIDELINES



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INTRODUCTION

Background

Beginning as a stop on the El Camino Real or The Kingshighway, downtown Sikeston has had a significant role in the history and growth of the community. The town's founding in 1860, by John Sikes, was complemented by the Cairo-Fulton Railway, providing a link to distant markets for crops and goods produced in Sikeston. The railroad helped Sikeston to grow into a center of commerce for Southeast Missouri. Integral to the town's growth was downtown serving as the commercial and civic hub for Sikeston. Similar to many towns in the country, downtown served the local community as the place to go for trade, religious services, education, and socializing. Downtown Sikeston grew and many prominent buildings showcased the prosperity and quality of life in Sikeston.

In the 1950's, American lifestyles changed with the advent of the affordable automobile. Neighborhoods and commercial areas moved further away from the traditional downtown business district. Downtowns, while still the center of much community life, started to experience a loss of commercial viability. Consumers expected easy access and parking for their cars. New and modern design was preferred over traditional and old. As a result, by the mid 1970's many American downtown's suffered from a lack of investment. Downtown Sikeston was no exception. Many businesses moved away from downtown, and many buildings in downtown were renovated to appear more modern. The renovation of existing structures or the demolition of entire buildings had a negative impact on the architectural character of downtown Sikeston.

While downtown Sikeston experienced numerous changes throughout history, many positive attributes still exist. Many downtown streets have blocks with buildings fronting the street. Center and Front Street, between New Madrid and Kingshighway, are good examples of downtown streets with building mass in place. While some of the buildings have experienced facade renovations which were inappropriate in material and scale, many of the historic buildings remain. Legion Square on the south side of downtown provides an open space for downtown. The Sikeston Depot, one block west of the square, is a handsome former railroad depot which provides a direct link to the history of Sikeston. Considering the historic buildings in the core of downtown, the brick streets, and Legion Square, downtown Sikeston has many positive qualities and a unique built environment.



Intent of Guidelines

Downtown Sikeston has many outstanding attributes to build upon, which is the purpose of the Design Guidelines. Beginning with an appreciation of the original architecture in the Downtown, all elements should have the look and feel of belonging in the same composition. This document is a guide to recapturing the historic feel of Sikeston while promoting appropriate new development.

The first step is to conduct a survey of buildings, updating the available information about the current building stock in the downtown. The survey should assess the conditions of buildings and evaluate the historical significance of individual buildings. Each building should add to the composition of buildings on a street. Historic photographs or drawings will provide a great resource in determining appropriate design for the Downtown.

The next step is to develop a plan to accomplish the renewal of the Downtown. First and foremost, this means developing design guidelines to guide new development and rehabilitation of existing buildings. Downtown design must respect the tradition of rhythm and unity that existed before, not necessarily to create an exact copy of the historic past. Working within the existing fabric of the buildings the community should encourage renewal of the Downtown, including; the removal of inappropriate materials, adherence to the design guidelines, and developing appropriate streetscape improvements.

The building facades along with the sidewalks and streets make up the outdoor living room of the City. As such, the responsibility of redevelopment lies with both individual property owners and the City. The individual building facades are owned and maintained by the property owners. The street improvements, utilities and sidewalks are the responsibility of the City. An individual owner cannot be expected to invest in redeveloping his building without the City's commitment to restore the streetscape.

The guidelines of this document were developed to provide an outline for the improvements of the built environment of Downtown Sikeston. Addressing improvement methods for both the public realm of the streets and the private realm of buildings, the guidelines give direction in both a graphic and text format. The guidelines are meant to provide commercial property owners and the city with the initial information to begin sustainable renovation efforts for the Downtown.

BUILDING DESIGN GUIDELINES

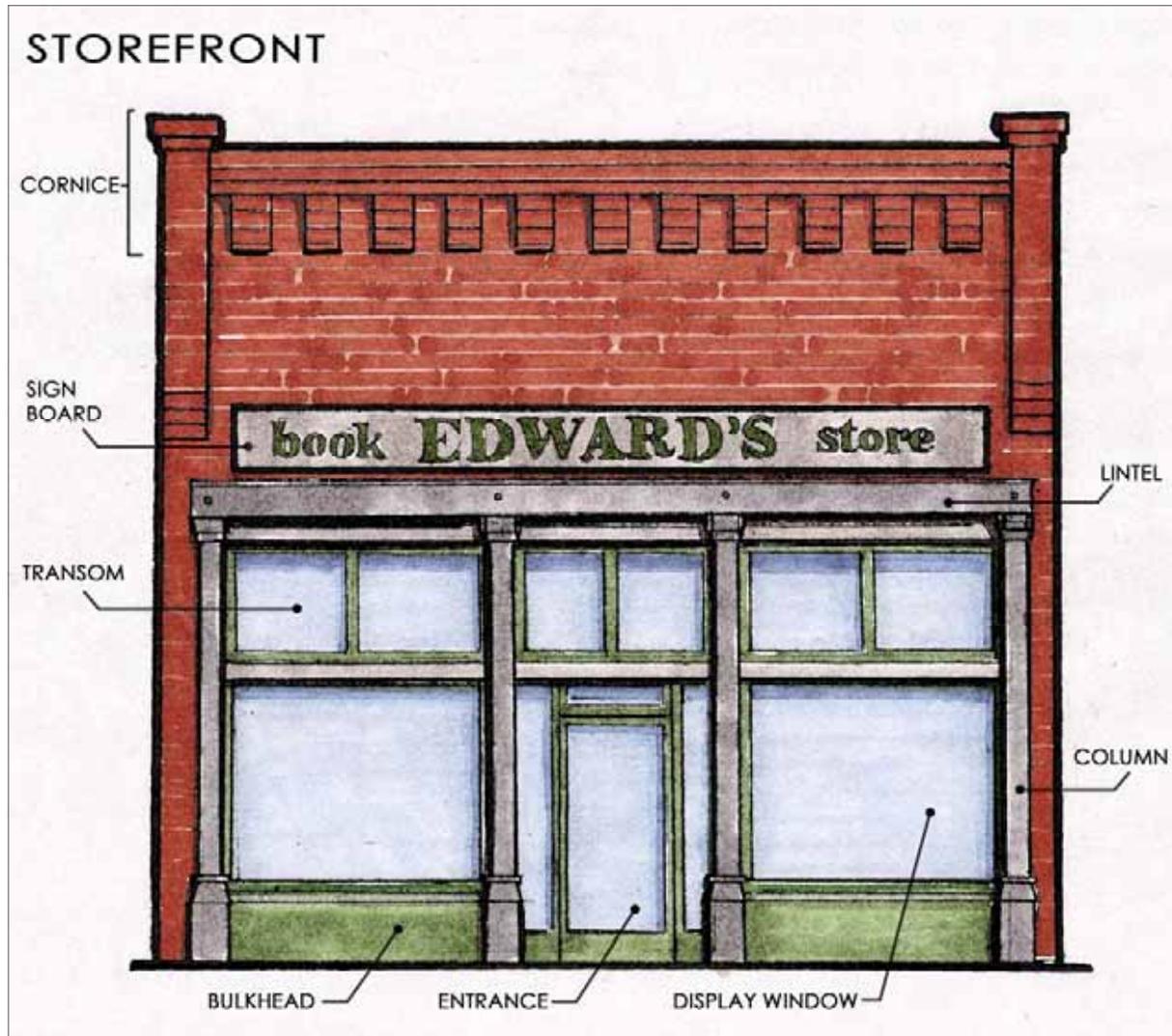
Downtown Fabric of Buildings

While these guidelines are written for the Downtown, the design recommendations are sound advice that might be applicable elsewhere in the community. These guidelines are written for commercial areas, not residential. The principles to be discussed, in many cases, can be altered and adapted to apply to an aspect of the entire town or a specific neighborhood, but care should be taken that the Downtown and the overall downtown area should remain unique in character.

To successfully support the revitalization of downtown Sikeston, the Downtown property owners, City staff, elected officials, and other community organizations will have to make a long term commitment to an overall unifying theme, feel, and sense of community. This process will not happen overnight, in a week, nor in a month or a year. This will be an ongoing effort that will evolve, pick-up speed, slow down, be applauded, and be criticized. The one constant should be the desire to slowly adjust the downtown core to an atmosphere that is attractive to Sikeston residents and its visitors. In the overall fabric of downtown there are 3 types of structures; those that contribute, those that detract, and those that do neither. The objective is to maximize contributing elements and minimize detracting elements, over time.

Building Zones

Improvements to individual buildings will be discussed in the context of three distinct 'zones'; the Storefront, the Upper Facade, and the Rear Facade. The elements of the front facade zones are depicted in this diagram.



Facade Elements

The various elements of a facade must be balanced. Appropriate massing, building and floor heights, proportions, roof lines, materials, and setbacks are critical considerations in new construction. Any future development should be encouraged to implement a design that contributes to the fabric of downtown. Any future design that will detract from the fabric should be denied.

Other aspects like architectural details, colors, and cornices are more important to the restoration of historic buildings, but can be used effectively in new construction as well. Developing a well balanced character between all elements can allow a building to be very individual in its character, but at the same time be a complementary thread woven into the overall fabric and feel of downtown.

Rhythm and Scale

The defined rhythm of Sikeston should be maintained along a street frontage by adhering to uniform lot widths, building widths, and window spacing.

- New infill buildings and structures should maintain the rhythm through proper repetition of details and orientation to the street.
- Vertical elements, entrances, lighting, and other street furnishings can also develop the rhythm of a specific block.

New facade fills opening.



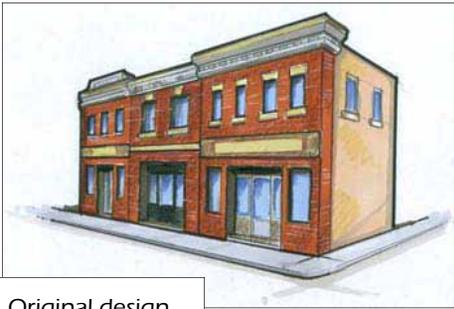
New facade as a series of bays.



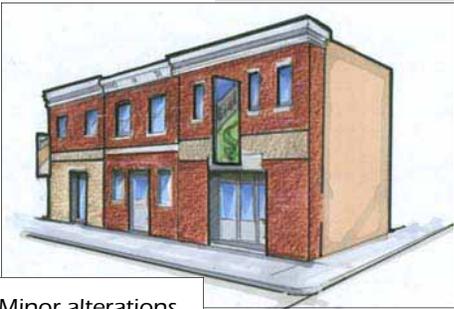
Alterations

Encourage removal of inappropriate alterations or additions that disrupt the fabric of the Storefront Zone. It is possible that non-historic and new construction can complement the building fabric that has developed, therefore some alterations may not need be removed. Decks, ADA structures, and other 'detachable' alterations can be utilized, but should be as unobtrusive as possible and located on the rear or sides of the building.

As a rule, any and all alterations or additions to the Upper Facade zone should be removed. Alterations in this zone can significantly change the appearance of the face of the building. This includes any and all signs and lighting as these should be restricted to the Storefront Zone. Avoid removing or altering any historic material or significant architectural features. Care should be taken during the removal process due to the possibility of damaging original elements hidden behind the alterations. When disassembly of a historic element is necessary, use methods that minimize damage to the original materials.



Original design.



Minor alterations.



Storefront is lost.



Significant alterations.

Masonry

Masonry is typically the preferred facade material for downtown. Most existing construction will utilize some masonry. In most instances metal and wood siding is not a comfortable choice for downtown building fabric. These types of siding provide harsh lines, stark contrast, and no relief or warmth to the buildings. If wood was the historic material, it may be restored.

- Masonry restoration, particularly on historic structures, should be done by professionals, if possible
- If the masonry has been painted or stained a minimally intrusive removal process should be used.
- Never resort to sand blasting as this will permanently damage the brick.
- Unpainted masonry should remain natural, not painted or sealed.
- Damaged masonry should be repaired or replaced with similar color, texture, and style masonry products.
- Tuck pointing should be done with an appropriate mortar material with a consistent color across the entire facade.
- Masonry replacement and/or repair should only be done with appropriate materials.
- Portland cement as a patch for masonry is unacceptable.
- If a historic facade has been covered with metal or wood siding it should be removed. Exposing the underlying brick masonry will help re-establish the character of the building and contribute to the visual continuity of the block. Metal cladding often is easy to remove, and only small areas of the underlying material will have been damaged.
- Siding also hides interesting details that can enhance building identity. If, after removing the covering material, portions of the original must be replaced, use a material that is similar to the original in color and texture.
- Re-pointing of stone foundations should use appropriate mortar mixes
- Regular maintenance of stone foundations should occur to prevent structural and water damage.
- Water proofing of foundations should be applied beneath finish grade or inside of structure.



Inappropriate patching to cheaply repair brickwork.

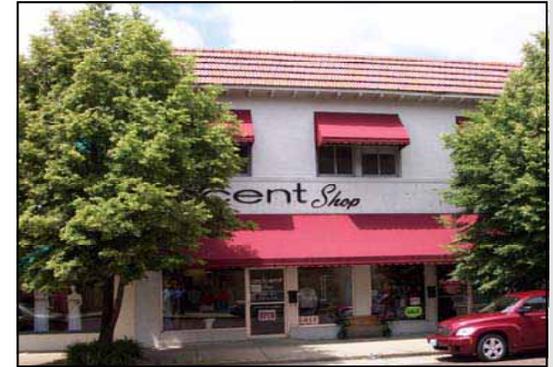


Tuck pointing with an appropriate mortar material.

Awnings

Awnings used in the storefront zone provide shade for merchandise, shelter for pedestrians, and bring a colorful accent to the building front that can be changed frequently and without great expense. The following suggestions enhance appropriate use of awnings and improve downtown aesthetics:

- Mount the top edge to align with the top of the transom, or to align with the framing that separates the transom from the main display window. This will help strengthen the visual continuity of store fronts.
- Roll-up awnings were a common site on historic storefronts and can be used following a similar approach to the original application. If a roll-up awning is not operable, the awning should follow the shape of an operable awning.
- Like the storefront, awnings should be confined to the extent of the original storefront opening.
- Awning colors should coordinate with the color scheme for the entire building.
- Awning signage or lettering should not be allowed where another flush faced sign exists.
- Awnings will wear and should be acknowledged as an operating cost of doing business which can be changed every few years for a fresh look.



Existing awnings in Downtown Sikeston.

Lighting

Buildings should be interesting to pedestrians and motorists at night, as well as by day. A well-lit storefront or rear facade creates a positive impression about downtown. The following lighting conditions can be implemented to enhance the attractiveness and safety of the downtown:

- Use lighting as a design element to draw attention to the entire building, not just the sign.
- Any lighting at the storefront should be used to accent the entrance, signage, or architectural elements as well as provide light for safety and security.
- Light fixtures should be the lowest wattage possible and of a concealed, simple, and non-intrusive design or a style that is appropriate to the period of the building.
- Sign lighting should be balanced in color and intensity with light in display windows.
- Warm-colored light is preferred for all exterior lighting, since this is more pleasing to the eye, and will more easily draw attention to window displays.
- Neon lights and cool fluorescent lights should not be used.
- Lighting on rear facades should provide illumination at the entry door as well as along the pedestrian path from the parking area. This lighting should be similar to the lighting in the front of the building.



Inappropriate styles of lighting.



Use lighting to highlight building, signage & entrances.

Signage

For a successful downtown, each business must have its own identity while at the same time maintaining the continuity of the district. Appropriate signage identifies the business without detracting from the architecture of the building and the fabric of downtown. Sign types and their locations should be kept simple and consistent for ease of public awareness. Signage should be restricted to the Storefront or Rear Facade Zones. The following guidelines will help enhance this aspect of Sikeston's downtown:

- The size of the sign should be of an appropriate scale for the building and street. Large signs should not be needed as the signage in a downtown area is more oriented to the pedestrian than the motorist.
- Rooftop, blade, pole, abandoned, neon, electronic message boards, and billboard signage should not be allowed or severely restricted.
- Position flush-mounted signs that fit within architectural features are preferred. This type of signage will help reinforce horizontal lines along the street.
- Coordinate color schemes with the front of the building.
- Where appropriate use existing decorative moldings to define a "sign panel" for flush-mounted signs.
- Locate projecting signs along the first floor level of the facade, not above.
- Place signs near the business entrance, to guide a customer's eyes to the door.
- Use symbols in projecting signs; these are more easily identified and remembered and will add interest to the building.
- Where several businesses share a building, coordinate the signs by aligning several smaller signs or grouping them onto a single panel as a directory to make them easier to locate. Use similar forms or backgrounds for the signs to tie them together visually and make them easier to read.



Current signage in Downtown Sikeston.

Signage

- Mount signs so they will not obscure any architectural details.
- Sign materials should be compatible with the facade materials.
- Good craftsmanship will pay off in longer service for your sign, and it will convey a stronger image to the public. Select high quality materials: Signs are exposed to extreme weather conditions, and a deteriorating sign presents a poor image to customers.
- Encourage the use of “custom” designs that portrays a business as being unique. Mass-produced signs, especially rectangular plastic panel ones with internal lighting, fail to make a lasting impression.
- Illuminate signs in such a way as to enhance the overall composition of the facade.
- External lighting cast from period style, non-intrusive fixtures is preferable to internal sign lighting.
- Awning signage or lettering should be limited to the hanging vertical flap of the awning and be complementary in color to the building.
- Awning signage or lettering should not be allowed where another flush faced sign exists.
- Signboards under the awning intended to assist pedestrians should be of a limited, uniform size and complement the awning and building.



Free-standing entrance sign.
(St. Charles, Missouri)



Flush mounted sign over store entrance.
(Washington, Missouri)



Signboards on sidewalk.
(Hannibal, Missouri)

Bicycles

A downtown area should not only be pedestrian friendly, but bicycle friendly as well. The scale of the downtown makes bicycle travel an enjoyable means of transportation in Sikeston. Downtown plans should implement bicycle facilities which can be used by local citizens and tourists. The city should identify opportunities for future bicycle facilities in downtown and throughout the community. Such facilities may include the following:

- Bicycle racks which should have the uniform design of materials, color and style as other site furnishings.
- Directional and regulatory street signage which identifies local streets as bike routes and share the road routes.
- Wayfinding signage to direct cyclists to various destinations within downtown.
- Public restrooms and drinking fountains available for cyclists.
- Dedicated bicycle lanes on streets, where feasible and possible.

The City of Sikeston should promote the use of cycling to and through the town. Developing a bicycle network plan which would identify local streets as the defined bike routes through town, would provide a safe and well organized plan for cyclists and automobile drivers to understand. Implementing bicycle facilities will provide an alternative means of transportation and another recreational experience for visitors and locals.

Franchise Architecture

Large franchises and national chains typically have a ‘downtown style’ in addition to their trademarked brand. Sikeston should insist that companies use a downtown design standard and adapt their brand to create a building front which compliments the Downtown.



Bicycle racks.
(Webster Groves, Missouri)



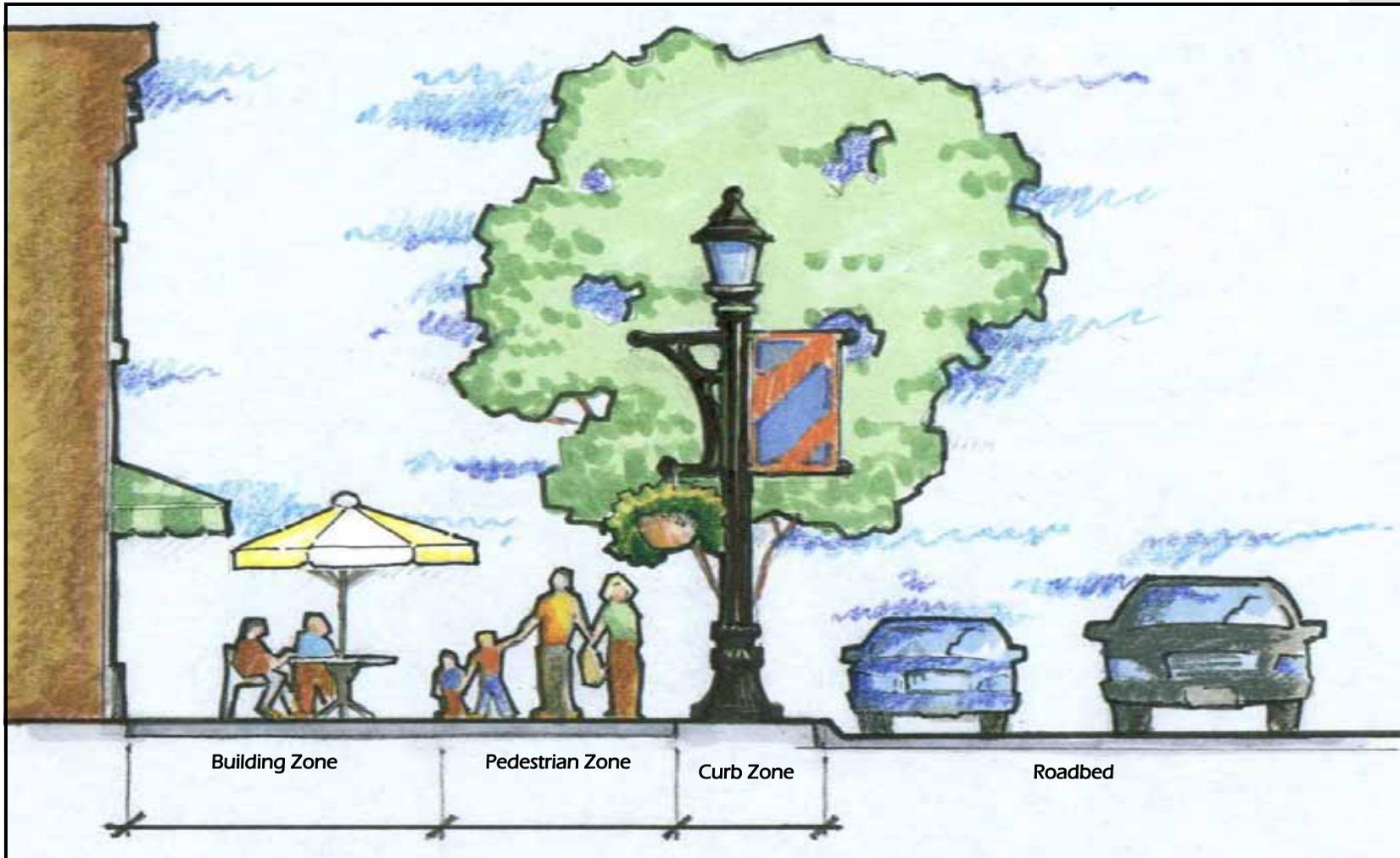
Examples of bicycle signage.
(St. Louis, Missouri)



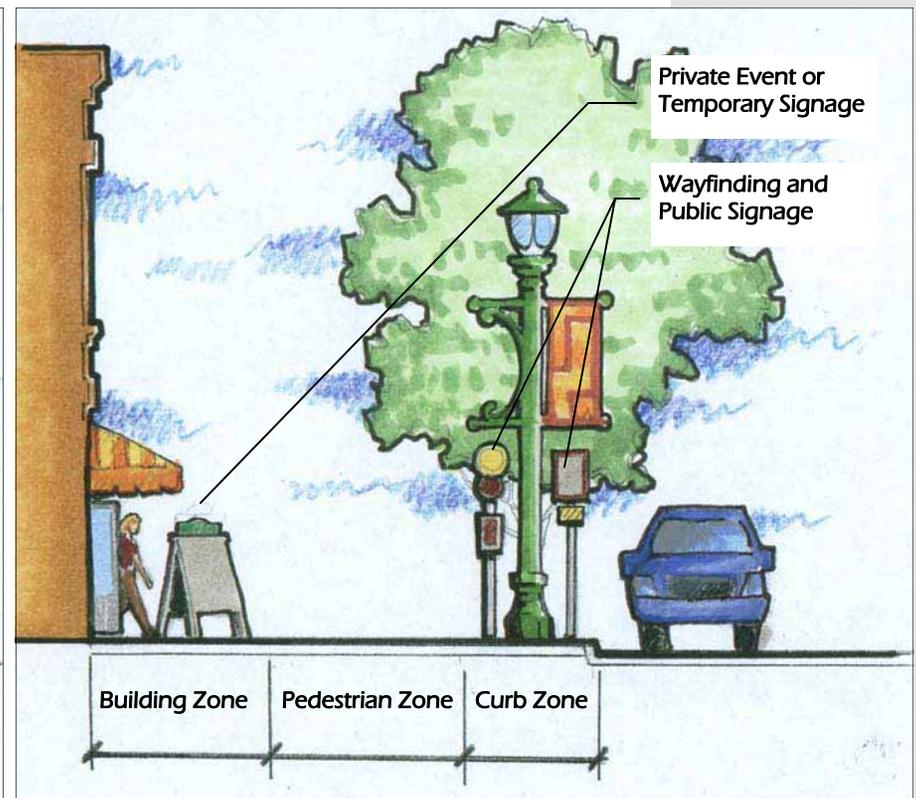
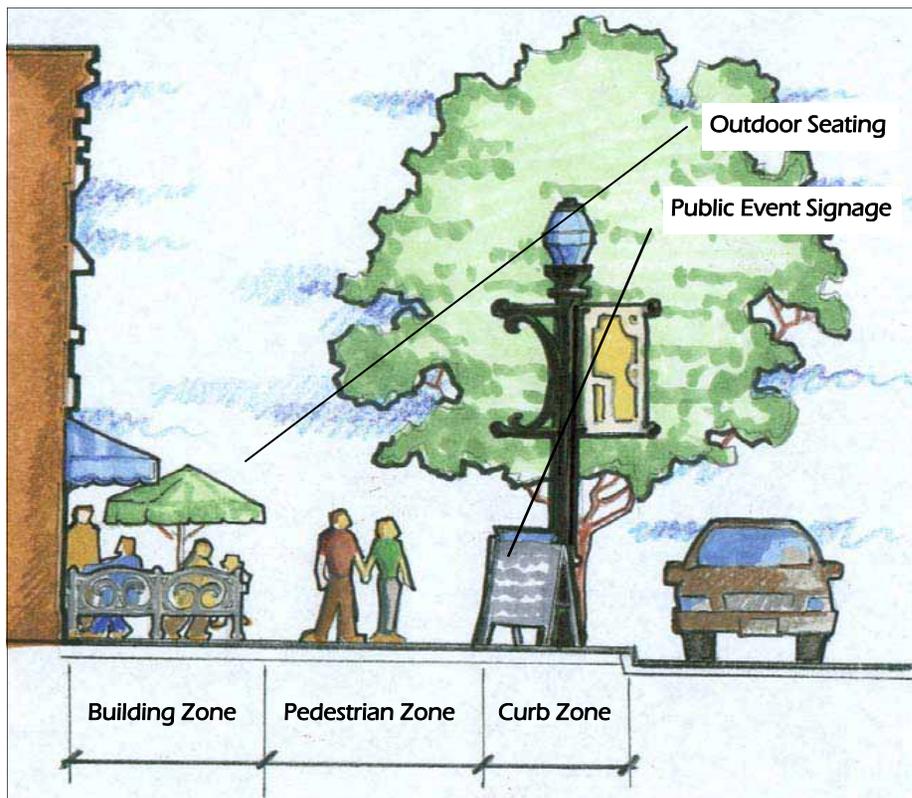
A franchise facade that enhances the surrounding street fabric.

Sidewalk Zones

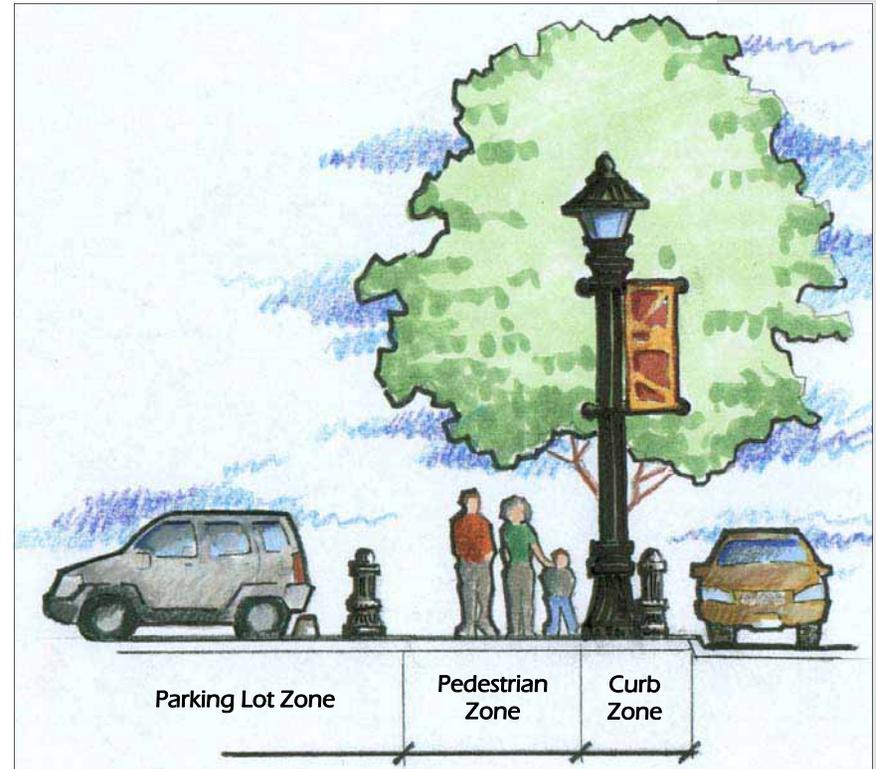
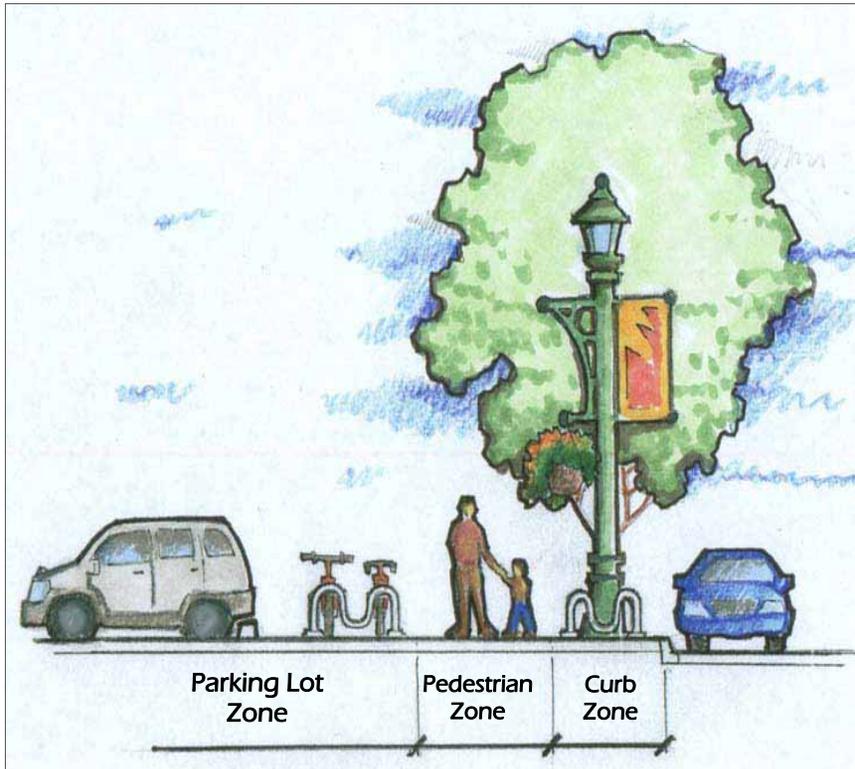
Appropriate zones in front of a building should be maintained. The Building Zone, Pedestrian Zone, and Curb Zone all have unique characteristics that should be regulated to ensure that private elements do not adversely impact public improvements.



- Aside from ADA accessible pavement improvements, Streetscape Amenities should remain clear of the Pedestrian Zone and allow for free movement of pedestrians. These elements will enhance the pedestrian experience, but must not obstruct them.
- Businesses should be informed on the importance of maintaining Sidewalk Zones. Each business should care for the zones within their building's street frontage.



- Items such as bicycle racks, bollards, and benches can add to the streetscape.
- Businesses should consider providing and maintaining such elements within their Building or Parking Lot Zones to enhance service to their patrons.



Outdoor Café Seating

Outdoor Café or sidewalk seating is a good option for restaurant/business patrons and can contribute to the life of a street. Seating areas for restaurants should be encouraged, but monitored by the City. The following are suggestions for proper arrangement:

- Areas should be located in the sidewalk area fronting the restaurant.
- Allow a clear and unencumbered path along the sidewalk for pedestrian traffic or be located close enough to the building. In either case the sidewalk must maintain ADA compliance. The restaurant owner is responsible for keeping the sidewalk and this pathway clear at all times.
- Areas adjacent to the building should not block entrances or exits to the building.
- Provide a clearly defined area connected with the restaurant.
- Utilize appropriate umbrellas or other patron covering in a uniform color, matching the building colors, and with only the restaurant name. Any other wording or message should not be allowed.
- Temporary outdoor seating material must be kept in top condition to provide an attractive image for the restaurant and all of downtown. Such furnishings should be durable, weatherproof, and sturdy enough to prevent movement by winds.
- Plastic furnishings should not be used.
- Furnishings should be stored in a secure location.



Proper location of cafés is important for safety, access, and service.



Outdoor café seating.
(St. Louis, Missouri)



Outdoor café seating.
(University City, Missouri)

Maintenance of Facades

Facades, particularly restorations, may need extra care and maintenance. The city should encourage proper maintenance through code and nuisance enforcement. In addition, if the city has implemented any sort of incentive for facade work, a requirement should be proper maintenance of the façade according to city standards.



Intricate cornice



Simple cornice

Historic Buildings

Original Elements

Any original element or material that still exists, particularly on the storefront, should be retained if possible. Original elements provide a historic value that can not be replaced. Prisms glass in transom windows or a decorative wooden door with beveled glass would be examples of original materials.

Replacement of missing architectural elements should be based on accurate duplications of original features. When an entire detail must be reconstructed the new material should match the original in design, color, texture, and other visual qualities. Where reconstruction of an element is impossible because of a lack of historical evidence, then a new design that relates to the building in general size, scale and material may be considered. Use design elements that reflect the building's style. A simplified interpretation of similar features on comparable buildings may be acceptable.



Historic building in Downtown Sikeston.

Storefront

Entrance:

- The entrance door should be recessed to emphasize the entry, provide a bit of shelter and remove the open door from the path of pedestrians on the sidewalk. These areas also repeat rhythm of shaded areas along the street helps to identify business entrances.
- If the original recessed entry has been removed, consider establishing a new one.
- The recessed entrance door should also be ADA compliant.
- The door should provide a view into the building as well as a sense of openness. Solid doors should be avoided.



Recessed entrances align with sidewalk edge. (Washington, Missouri)



Well designed & coordinated storefront. (St. Charles, Missouri)

Windows:

- Preserve any of the large panes of glass that make-up the original store front if they still exist. These transparent surfaces allow pedestrians to see goods and activities inside.
- Any new or replacement storefront should be built of similar materials compatible with the original facade design and craftsmanship.
- Wood framing similar to the original is preferred but metal framing with the appropriate historic profile is acceptable.
- Clear insulated glass with low 'E' coating is a good choice for replacement storefronts.
- Tinted or reflective glass and interior reflective films should not be used on the storefront.

Spandrel Panels:

- Maintaining the original spandrel panel, if it exists, is preferable but if the panel is missing, reconstruction using old photographs as a guide is acceptable.
- Coordinate the color scheme of the spandrel panel with other facade elements.
- If original design information is not available, another option is to design a simplified panel using appropriate materials such as painted wood or metal.



Recessed entrance with detailed kick plates creates an inviting experience for the consumer.
(Washington, Missouri)



Historic storefront
(St. Charles, Missouri)

Transoms:

- These bands of glass are found on many buildings and they often align at the same height in a block. Maintaining this line will help to reinforce a sense of visual continuity for the street.
- When transoms are covered and original moldings and window frame proportions are concealed, the impact of the store front is weakened. If the interior ceiling is now lower than this glass line, move the dropped ceiling back from the window to maintain its historical dimensions.
- Some transoms have hinged panels to allow natural ventilation. Restore these to working order where feasible. Used in combination with ceiling fans these operable transoms can be very effective in improving comfort levels when full air-conditioning is not as necessary.



Great example of a facade with intricate details well restored and maintained.

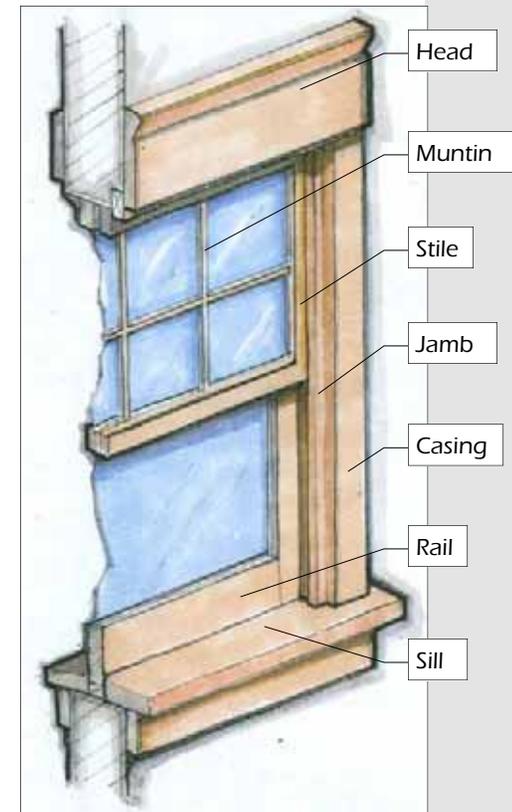


Buildings which preserve the transom. (Cripple Creek, Colorado)

Upper Facade

Windows:

- Typical upper windows are vertically oriented and uniformly spaced across the building front. This rhythm of upper story windows is an important unifying feature of downtown, because it is repeated on most buildings.
- Any windows covered by masonry infill, wood panels, or mismatched windows should be removed.
- If the original window still exists, it should be restored to serviceable condition when possible.
- Replace only missing portions of original elements where feasible. Sometimes trim elements and other materials must be removed in order to repair or refinish them. Always devise methods of replacing the disassembled materials in their original configuration. Code trim pieces, for example, so you can replace them accurately.
- Installation of interior storm windows should be considered.
- If the existing window is beyond repair an appropriate replacement window of the same size and profile should be installed.
- Use design elements that reflect the building's style. A simplified interpretation of similar features on comparable buildings may be considered.
- Window shades or curtains in colors that coordinate with accent trim should be encouraged.
- If the ceiling is lower than the window head, pull the ceiling back from the window to keep the original height at the window.



Example of typical window components.

Cornice and Architectural Details:

- Replacement of missing cornices or architectural elements should be based on accurate duplications of original features. In some cases, an entire detail must be reconstructed. In the event that replacement is necessary, the new material should match the original in design, color, texture, and other visual qualities. Photographic evidence is a good source for research.
- If the cornice is missing, a similar cornice of like size and scale should be installed.
- If no evidence exists as to form and detail, the reconstructed cornice should be as simple and non-intrusive as possible.
- If the cornice is intact it should be repaired and maintained as required.
- Where architectural details have been removed, look at photos for details to use as patterns for new designs.
- Where exact reconstruction of details is not feasible, consider developing a simplified interpretation of the original, in which its major form and line is retained.



Rehab that preserved ornamental cornice work at the top of the building.
(Neosho, Missouri)



Shutters (or blinds) are encouraged on upper level windows. Shutters should be appropriate scale to completely cover the window, when closed.
(Washington, Missouri)

Rear Facade

The rear facade typically faces an alley and provides access for deliveries and pick-up. In some cases customer parking is provided behind a building and entry to the business through the rear elevation is desirable. Attention to the appearance of the rear elevation can be extremely important to the quality of the customers' shopping experience. Consider how image can be improved here, while accommodating service functions.

Entry Door:

- The rear door will no longer be just for service but should project a sense of openness and welcome.
- Customers might also feel a loyalty or sense of 'special access' by using this door and the business can build on this loyalty by catering to that customer and improving that experience.
- A new door and hardware with a large area of glass may be considered.
- A small canopy or awning may provide some of shelter.

Upper Rear Facade:

The upper rear facade elements should be treated similar to the front. Too often this is a facade that is neglected and allowed to deteriorate.

- Windows should be restored or replaced.
- Gutters and downspouts should be in good repair and painted.
- Use materials and colors that coordinate with the main facade so customers will learn to recognize both entrances are related to the same business.
- Use a smaller version of the front sign to identify the rear entrance.
- New exit stairs and balconies can enhance the marketability of second story space, especially when these lead out onto parking lots located on the back side of the building. Encourage installing new stairs that comply with current building codes.

Fences:

- Fences should be designed to harmonize with the surrounding structures in both scale and color.
- Some materials which may be appropriate include masonry, wood, ornamental metal and wrought-iron.



Rear Entrance & Upper Rear Facade are well maintained and inviting.
(St. Charles, Missouri)



Good rear entrance and landscaping.
(St. Charles, Missouri)

Trash Dumpsters, Ancillary Structures, & Utilities:

Sensible, yet firm enforcement of the city's building and nuisance codes will be required and should be a priority throughout the Downtown.

- Waste receptacles should be placed in an enclosure or behind a screen.
- Use landscaping to help screen waste receptacles and dumpsters.
- Enclosures and screens should harmonize with the surrounding buildings in scale and color.
- Landscaping can also be used to screen air-conditioning condensers and utility transformers.
- Use solid wood or masonry partitions, lattice screens, or hedges to screen trash areas.
- Any ancillary structures should match the surrounding buildings style and scale. These structures must be maintained well.
- Keep electrical service boxes and conduits in good repair and painted.
- Encourage using a color scheme on these screens that matches that of the rest of the building.



Screened waste receptacles and dumpsters.



Regulations for property owners and refuse haulers should be enforced.

Existing Non-Historic Buildings and New Construction

Some buildings in the Downtown do not have historic features or ornamentation. Many were built with simple fronts. These buildings and any new construction should implement the following standards:

- New construction should be of design considerate of traditional storefront elements described in these guidelines or on nearby historic buildings that contributes to the fabric of downtown.
- Use a simple design, complementary to the downtown, with three basic elements; a unified paint and color scheme, an awning, and non-intrusive signage.
- Emphasize horizontal features that can align with other buildings.
- Encourage highlighting a simple cornice, a band of color, a sign panel or an awning edge that can line up with similar elements on the street nearby.
- Some newer buildings downtown are set back from the street, with space in front for parking. These buildings are intended to relate to cars more than pedestrians. Landscaping elements that will re-establish the facade line of the adjacent buildings should be encouraged.

Color Guidelines

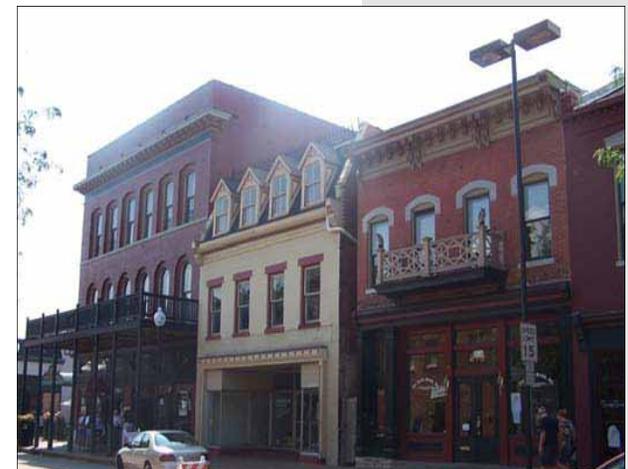
Color can enhance the details and patterns of facades. The most effective and economical schemes often start with the natural colors of the building materials themselves as a base, such as the red of many brick buildings. The following techniques should be encouraged:

- Use only one base color for the majority of the background wall surface, but use a different color for accents. Do not paint a building entirely one color.
- Base colors should be muted earth tones or pastels.
- Look for “built-in” features of the facade that can be highlighted with an accent color.
- Window frames, sills, moldings, and cornices are potential elements to highlight with a contrasting color.
- Use bright colors only in small amounts. Place them at the first floor level to direct the customer’s eyes to the business.
- Consider accent colors for signs, awnings, and entrance doors.

The use of various color schemes for buildings should receive an approval process. Such process could be developed through the existing building code and permit approval process. Existing codes may need to be supplemented or an architectural review board may be needed for Downtown projects. Such supplements or board would help to implement the design guidelines for Downtown Sikeston.



Example of a good use of color which accents the building entrance. (Washington, Missouri)



Block that follows same basic design principles. (St. Charles, Missouri)

SUSTAINABLE DESIGN

Introduction

The construction of sites and buildings have a significant impact on the natural environment. The operations of a site and a building, can also affect the air, land and soil of the downtown. Sustainable Design measures seek to lessen the impact on the natural and built environment. Such design efforts also aim to increase the efficiency at which buildings operate, in regard to energy use and operating costs. The design process is comprehensive, beginning with site selection and orientation; through specification of sustainable materials to energy efficient operating systems.

Downtown Sikeston is a built environment of many historic buildings, modern buildings, public streets, parking lots, a few vacant lots and open space. Sustainable Design measures can be applied to both existing buildings and new buildings. The U. S. Green Building Council (USGBC) has become the leading organization in developing standards for sustainable design and operations of buildings. The U. S. Green Building Council's certification system is known as Leadership in Energy and Environmental Design (LEED). The majority of LEED designated buildings are new construction projects, however the USGBC has also developed standards for the upgrade of existing buildings.

Sustainable design is a broad and encompassing initiative which strives to create a built environment which is good for both man and nature. The following recommendations only introduce the basic fundamentals of sustainable design regarding downtown buildings and environments. For additional information beyond these guidelines, numerous resources exists, such as the following:

- U. S. Green Building Council (USGBC) www.usgbc.org
- Whole Building Design Guide www.wbdg.org
- American Society for Testing and Materials International (ASTM)
ASTM E2432— Standard Guide for General Principles of Sustainability
Relative to Buildings www.astm.Standards.e2432.htm



Permeable pavers for parking area allow stormwater to percolate back into the soil and groundwater.



Interior flooring fabricated from bamboo, a rapidly renewable resource.

Fundamentals

Sustainable design measures are constantly changing, however there are six fundamental principles which constitute sustainability.

- 1) **Optimal Site Potential:** Consider site selection, building orientation and existing natural features of a site including topography, drainage, landscape and natural habitats. The rehabilitation and reuse of existing buildings should always be evaluated as an alternative to new building construction.
- 2) **Efficient Use of Water:** The design and use of water systems in a building maximize efficiency and recycle water for on-site use when feasible. Site design should seek to reduce stormwater run off from the site. Use best management practices (BMP) to limit stormwater run off, clean storm water and trap pollutants in the water before discharging into the sewer system.
- 3) **Environmental Materials and Resources:** Utilize building materials with a high percentage of recycled content or contain rapidly renewable materials such as cork flooring, bamboo cabinetry, wool carpeting, etc. Specify or use materials or items which are manufactured within proximity to the project site. Ideally, this proximity is no more than 500 miles.
- 4) **Optimal Energy Use:** The operation of a site and building identify methods for increased energy efficiency or use renewable resources such as solar or geo-thermal energy.
- 5) **Interior Environmental Quality:** Identify methods for creating a healthy environment, and increasing the comfort of building users. Proper ventilation, use of natural light, and moisture control are a few methods to ensure a quality interior space.
- 6) **Optimal Operations and Maintenance Methods:** Utilize building systems, furnishings and finishes which will have minimal operations and maintenance needs. Such systems will require less energy, less water and can be maintained with natural cleaners which are not toxic to the environment or occupants.



"Green Roofs" reduce stormwater runoff, reduce heat gain and provide aesthetics for building users.



Solar panels provide an additional energy source for building power needs.

Elements

Sustainable design elements are extensive. The following list seeks to introduce only a few recommendations which are applicable to Downtown Sikeston.

- 1) **Parking and Service Areas:** Minimize stormwater runoff by using pervious pavement materials such as pervious paver systems or pervious concrete. Such systems will allow stormwater to percolate into the soil and not into the public stormwater sewer system.
- 2) **Building Materials:** Utilize materials which are composed of recycled materials or manufactured from rapidly renewable materials, which are made from plants that are typically harvested within a 10 year cycle. Examples include: bamboo flooring, linoleum flooring (made of wheat flour and linseed oil) cotton batt insulation and wheatboard cabinetry. Recycled bricks from demolished buildings should also be used for new building construction or restoration projects.
- 3) **Alternative Transportation:** Promote by providing secure bicycle storage and changing/shower facilities for employees.
- 4) **Solar Energy Alternatives:** Install solar panels to supplement the power system for commercial and residential buildings. Utilize prefabricated solar water heaters to provide the majority of the hot water needs for buildings.
- 5) **Stewardship:** New wood products, including construction lumber, should be certified by the Forest Stewardship Council, which promotes responsible forest management.
- 6) **Lighting:** Develop a lighting plan for public spaces which minimizes excessive lighting, which affects night sky viewing and the migratory patterns of birds. Flags which require lighting should be lit from the top shining down on the flags instead of being lit from the ground, projecting light into the sky.
- 7) **Operations:** Use timers on public fountains and lights in non-essential areas to shut off lights after 1:00 a.m., in order to reduce energy consumption.
- 8) **Landscaping:** Plant native landscape materials which can survive on natural rainfall once established.
- 9) **Street Furnishings:** Specify site furnishings such as benches, waste receptacles, bollards, and planters which are made from recycled plastic materials.
- 10) **Water Conservation:** Capture rain water runoff from roofs in rain barrels for irrigation use or direct to rain gardens on site. Inside buildings, consider waterless urinals or low flow water closets to limit potable water use.



Permeable pavement system installation.



Rain garden with native landscape plants.



Solar water heater.

BUILDING DESIGN EXAMPLES

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PROPOSED IMPROVEMENTS: Front Street



- Remove frame & metal canopies.
- Utilize canvas/fabric awnings.
- Remove paint from masonry facades.
- Restore original entrances.
- Use compatible paint colors.
- Streetscape of lights, trees & site furnishings.

PROPOSED IMPROVEMENTS: Front Street



- Remove frame & metal canopies.
- Utilize canvas/fabric awnings.
- Remove metal siding from facades
- Restore original windows.
- Provide appropriately scaled area for signage.
- Streetscape of lights, trees & site furnishings.

PROPOSED IMPROVEMENTS: Front Street



- Remove frame & metal canopies.
- Utilize canvas/fabric awnings.
- Remove metal siding from facades.
- Restore original windows.
- Restore masonry veneer.
- Streetscape of lights, trees & site furnishings.

PROPOSED IMPROVEMENTS: Front Street



- Remove frame & metal canopies.
- Utilize canvas/fabric awnings.
- Remove metal siding from facades.
- Restore original windows.
- Restore masonry veneer.
- Provide appropriately scaled area for signage.
- Streetscape of lights, trees & site furnishings.

PROPOSED IMPROVEMENTS: Kingshighway



- Remove frame & metal canopies.
- Utilize canvas/fabric awnings.
- Restore transom windows.

- Restore original windows.
- Restore masonry veneer.
- Provide appropriately scaled area for signage.
- Streetscape of lights, trees & site furnishings.

PROPOSED IMPROVEMENTS: Kingshighway



- Utilize canvas/fabric awnings.
- Remove siding from windows.
- Restore original windows.
- Restore masonry veneer.
- Provide appropriately scaled area for signage.
- Utilize ornamental railing for parking lots.
- Streetscape of lights, trees & site furnishings.

STREETSCAPE DESIGN GUIDELINES

The term Streetscape typically refers to exterior public spaces located between the building facades on one side of the street and the building facades on the other side of the street. An organized streetscape combines many design elements to create an inviting and attractive public street.

Design Coordination

A comprehensive design approach to the Downtown will result in a more successful project. Downtown Sikeston can display a sense of order and rhythm through the repetition of design elements of buildings and street furnishings. A sense of arrival should exist upon entering the Downtown.

- The Downtown should have well maintained streets and walks.
- Particular care should be devoted to the main entries and corridors into Downtown, as these will be the first impressions of the downtown area.
- Good, clear signage provides an invitation to enter, navigate downtown and visit attractions.
- Establishing uniformity in streetscape furnishings helps to give a visual cohesiveness to the downtown district.

Infrastructure

- Curbs should be in good repair and a consistent material along the street. There should be no gaps or areas of uneven elevation along the curb line.
- Sidewalks at all street intersections should have accessible curb ramps.
- Poorly working storm drains can create an undesirable situation at street intersections when runoff water collects in large pools. This condition makes pedestrian access virtually impossible and must be corrected.
- Overhead utilities may pose a visual distraction from the overall unity of downtown. Although costly, relocation of overhead utilities should be considered, especially with each new development/redevelopment project.
- New or replacement curbs should be vertical curbs.



Curb in disrepair.



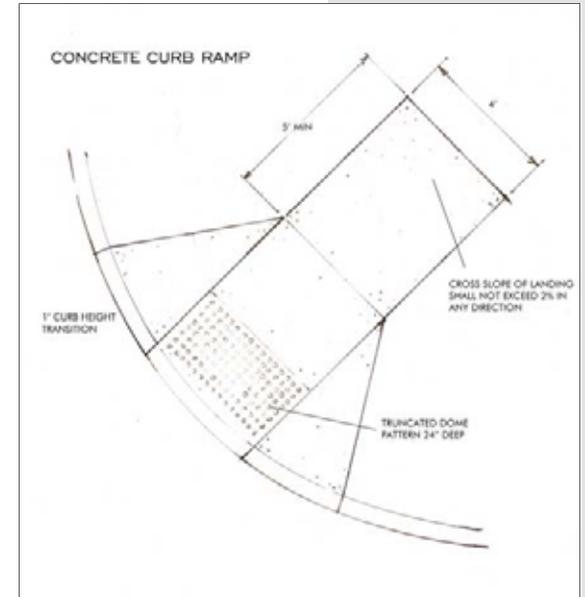
Example of new curb.

ADA Accessibility

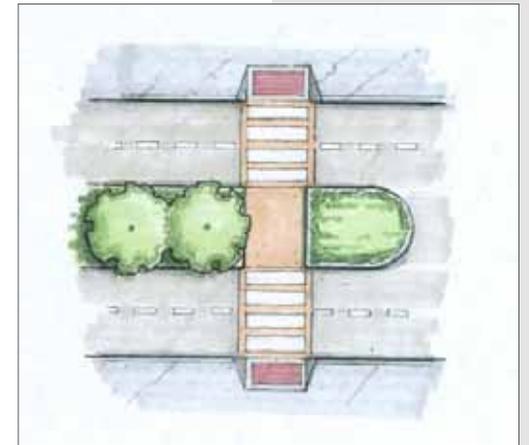
Accessibility on public sidewalks is required by law, per the Americans with Disabilities Act (ADA). Without the required curb ramps, sidewalk travel in urban areas is dangerous, difficult, and in some cases impossible for people who use wheelchairs, scooters, and other mobility aids. Curb ramps allow people with mobility impairments to have access to the sidewalks and buildings.

Pedestrian Access and Sidewalks

- A clean, clear and well-lit pathway for pedestrians should be provided from any remote parking area to the Downtown. This pathway will also need to comply with Federal ADA Accessibility Guidelines.
- Sidewalks should run continuously through an entire block to create a clearly defined pedestrian pathway and minimizing conflicts between people and vehicles.
- All roadway crosswalks should be clearly marked with signage and striping.



Detail design drawing of an accessible ramp.



Suggestions for crosswalk alignment and designation.

Fountains and Public Art

The introduction of fountains and public art can enhance Downtown Sikeston and the pedestrian experience. These features will be most effective as simple interactive elements which Downtown visitors can enjoy.

- Fountain water should be left in its natural state (no coloring).
- Pedestrians should be allowed to touch and splash in the water of a fountain, where codes allow.
- Fountains can be combined with signage and landscaping to create a gateway for downtown.
- Fountains should receive regular maintenance by properly trained staff.
- Repairs to fountains should be performed by a qualified professional.
- Public art and sculpture should be of high quality, produced by a trained professional.
- Graffiti and vandalism of public art should be repaired as soon as possible.
- Temporary and seasonal art exhibits should be encouraged to showcase Downtown Sikeston as a center for art.
- Public art should, if possible, reflect local stories or history.
- Public art can also serve as memorial to local persons or to commemorate historical events.



Examples of public fountains.



Examples of public art.

Signs and Banners

Signage should be used to identify, define and promote the downtown area and its activities. Individual building and business signage is discussed in Section II. A. 8). Wayfinding techniques and components to assist in navigation through the area will be addressed in Section V. Some basic guidelines for effective usage of signage are as follows:

- Street name signs should be chosen and installed that are distinctively different from the street name signs located in the rest of the community. This will reinforce a feeling of 'place' in Downtown Sikeston.
- The style of the street name and street address signs should complement if not match completely.
- In an effort to reduce visual clutter, regulation and direction signage should be combined where possible.
- Banners and other temporary signs should be allowed, but restricted as to size, prevalence, and length of display.



Existing signage in Downtown Sikeston.



Example of direction and regulation signage on single pole. (Washington, Missouri)



Example of enhanced street name signs. (Washington, Missouri)

- Hung from the light poles, seasonal banners or decorations approved by the City can create seasonally festive streets.
- Banners can add a sense of civic identity while providing information about upcoming events or festivals.
- Banners should be well designed and are most effective with a simple design, repeated throughout downtown, and with minimal lettering. Sponsor panels should only be allowed within a uniform design panel.
- The banner brackets used for these banners should be maintained by the City.
- Banners should be changed on a regular schedule and replaced as needed. Banners which have been faded or worn due to long term use, should be replaced.
- Balloons, pennants, and other distracting sign novelties should be strictly regulated in the Downtown area.
- Murals must have an artistic component and must meet approval by the City. Murals should be professionally installed. Any mural not approved should be considered in violation of the sign code.



Example of a high quality existing mural in Downtown Sikeston (Sikeston, Missouri)



Stop sign on ornamental post. (St. Charles, Missouri)

Parking and Service Areas

- Adequate parking to support business and retail tenants must be provided. Street parking will accommodate some but not all of the required parking spaces.
- Parking lots on previously vacant property near Downtown is a good solution for additional parking spaces.
- Provide planting buffers at the edges of parking lots or use decorative paving to define the site border.
- Include landscape islands throughout the lot. This will improve the aesthetics and minimize the storm water run-off.
- Side or rear locations off the main street are preferred for parking lots.
- A clear and well lit pathway for pedestrians from any parking area should be provided.
- The street, alley and sidewalk pavement should be in good condition with no tripping hazards for pedestrians.
- Crosswalks should be clearly marked and free of obstacles to provide a clear view for traffic.
- Care must also be taken that lots are policed in the evening as they will tend to become a security concern for some patrons.



Buffer the edges of parking lots with landscaping. (Washington, Missouri)



Regulation signage combined on ornamental post. (Washington, Missouri)

Lighting

Streetscape lighting should enhance the pedestrian and nighttime image of downtown while also providing an attractive installation during the day. Lighting guidelines are listed as follows:

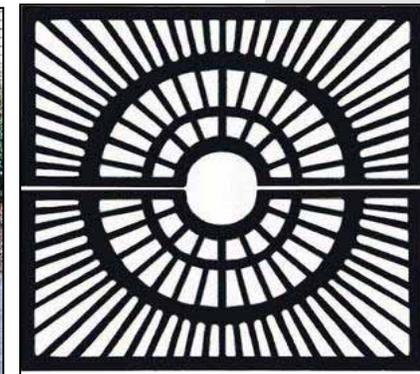
- The sidewalks should be provided with light to clearly define the walking surface.
- Storefront lighting can add to the pedestrian walkway illumination.
- Streetscape lights should be on 12'-14' height poles and project light down onto the sidewalk, not into second floor windows.
- Lighting should be uniform in style, type, height, and brightness throughout the area.
- The streetscape lights used in the current streetscape plans should be continued throughout the downtown.
- Light poles with brackets for banners and electrical outlets can effectively display temporary or seasonal decorations.
- An overall lighting design strategy should be developed to ensure appropriate lighting levels.
- The lighting plan should address parking areas, rear building entrances, and alleys.



Existing street lights in Sikeston.

Site Furnishings

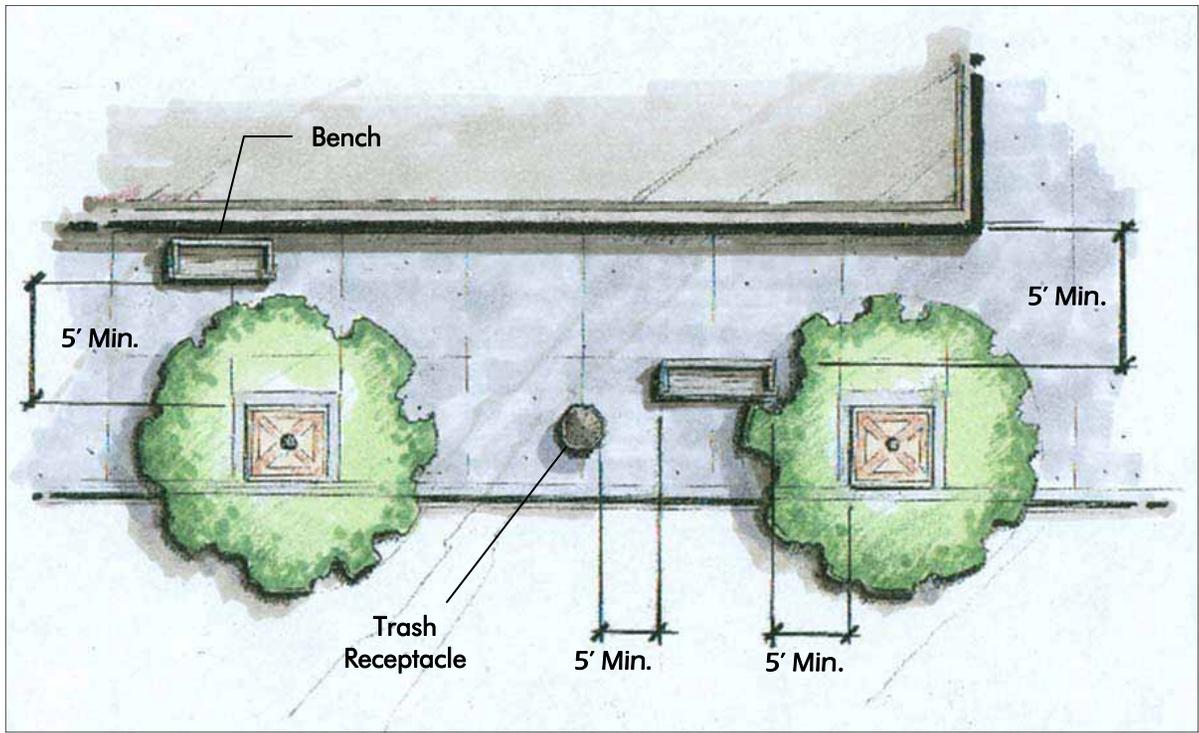
- Benches within the streetscape encourage social interaction which contributes to a successful Downtown.
- Planters and window boxes provide seasonal color and can be a volunteer opportunity if maintained by a local club or organization.
- Public art and sculpture add to the identity of Downtown.
- Trash receptacles help to keep Downtown clean.
- Grouped together, such furnishings will enhance the downtown and provide a gathering place for pedestrians.
- Furnishings should be coordinated with light and sign poles to present a unified look to the streetscape.
- Street furnishing will invite people to walk around and linger in the downtown.



Proposed site furnishings for Downtown Sikeston.

Site Furnishings

- The minimum distances shown represent suggestions for spacing of site furnishings. Actual distances may vary due to site conditions.



Landscaping

- Landscaping zones can also be identified along side streets to complement, but not obstruct building facades.
- Landscaping in front of a business is recommended. Plants in movable containers should be considered where no available landscape planting area is available. Containers should never be placed in the pedestrian pathway, but rather, immediately adjacent to buildings or curbs.
- Trees work best when planted in groups or islands where they can thrive in larger volumes of soil.
- Trees and shrubs should be of a hardy variety, common to the region but specified at a size which will allow a minimum of seven feet of vertical clearance before any lateral branching begins.
- Trees should also be chosen for their root growth structure. Specify varieties with downward growing taproots, not lateral growth that will damage surrounding pavement.
- Shrubs should be massed in groupings of five to seven plants with no more than two different species within a planting bed.
- Locate plantings in traditional areas of the site. Plantings along fences, walks, foundations, and at porch edges are good locations.
- Landscaping should be installed adjacent to alleys, driveways and other areas in between buildings.
- Garden clubs or volunteers should be encouraged to help maintain landscaping of perennials and annuals on public property.



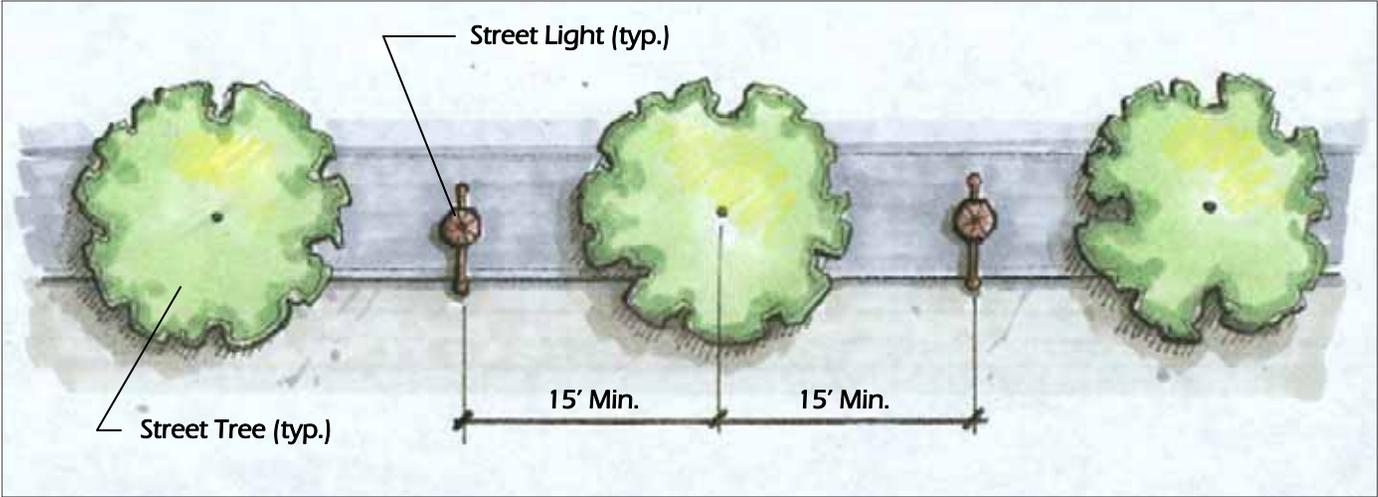
Good example of landscaping along an alley.
(Sikeston, Missouri)



Containers with seasonal landscaping at a store entrance. (Washington, Missouri)

Landscaping

- The minimum distances shown represent suggestions for spacing of street trees in relation to street lights. Actual distances may vary due to site conditions.
- Street Trees should be located based on existing conditions to minimize blocking the view of store windows, door ways and signs.



Signature Projects:

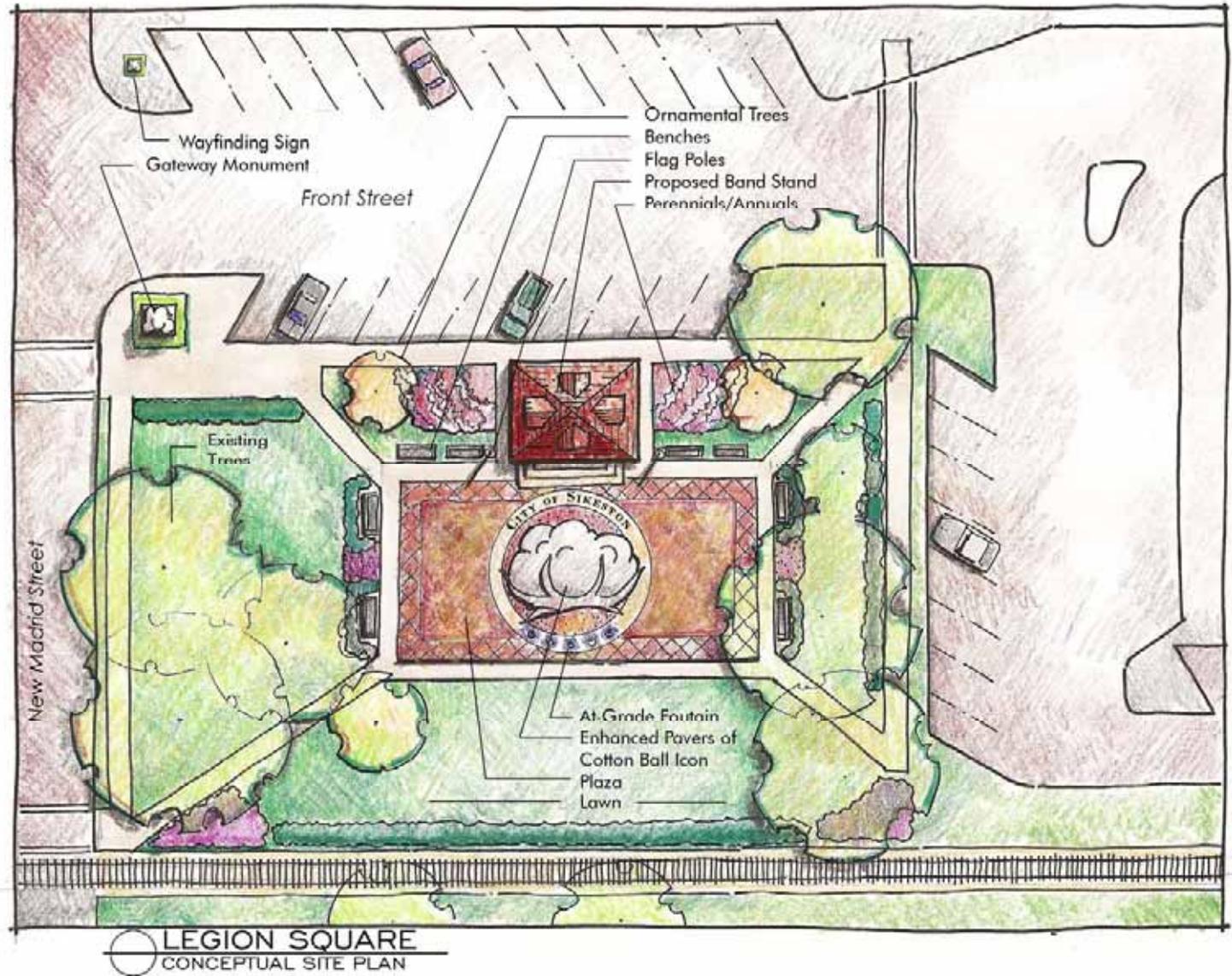
Downtown Sikeston is fortunate to have two major open spaces on the south edge of downtown: Legion Square and the Sikeston Depot. Legion Square is a small park located on the south edge of Front Street, between New Madrid and Kingshighway. The park provides a green space for downtown at the intersection of New Madrid Street and Malone Street, a major entrance way into downtown. The publicly owned park is a memorial to the military veterans of Sikeston.

The Sikeston Depot is a historic railroad structure one block west of the park, between New Madrid and Scott Streets, fronting along the railroad tracks immediately north of Malone Street. The depot, which currently serves as an art gallery and cultural center, is also the only building in Downtown on the National Register of Historic Places. The depot and adjacent property are owned by two separate entities. Any improvements to the Depot and adjacent areas will need to resolve property and jurisdiction issues.

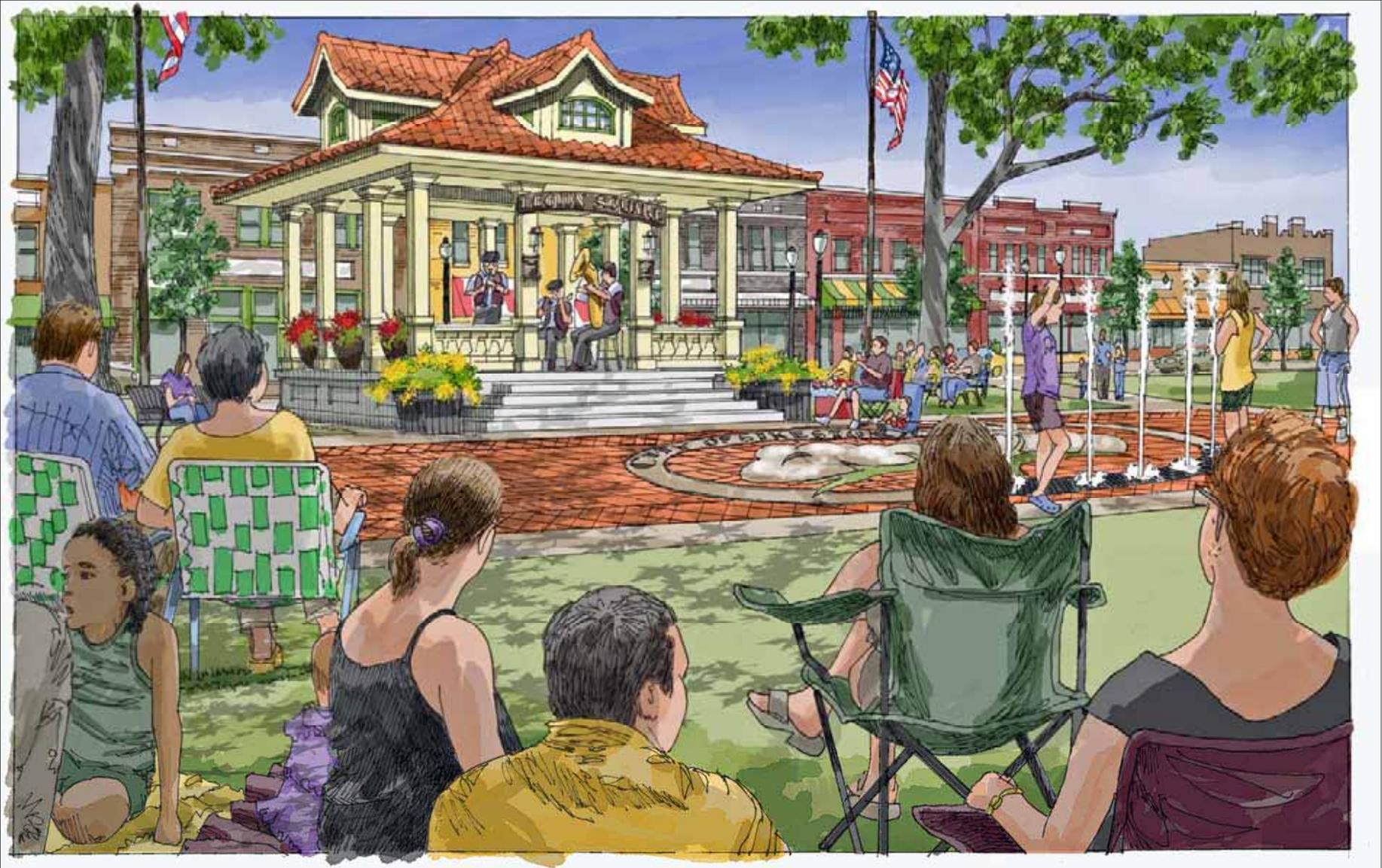
The City of Sikeston has determined that improvements to these two spaces are significant projects for downtown's revitalization. Legion Square and The Sikeston Depot each have challenges including worn out infrastructure and lack of identity. However, the opportunity each space presents to contribute to Downtown Sikeston is tremendous. The design priorities for both spaces is listed as follows:

- 1) Create dynamic public spaces for civic events and civic pride.
- 2) Legion Square: Establish an attractive "Front Door" for downtown Sikeston.
- 3) Reduce the amount of pavement and add green space.
- 4) Depot: Create a space for parking/circulation, events and a design which complements the Depot building.
- 5) Develop new identity of each space through naming, signage, and design.
- 6) Identify areas for monument and wayfinding signage which reflects the heritage of Sikeston.
- 7) Adopt a creative design plan based on flexible use, attainable cost and long term maintenance.

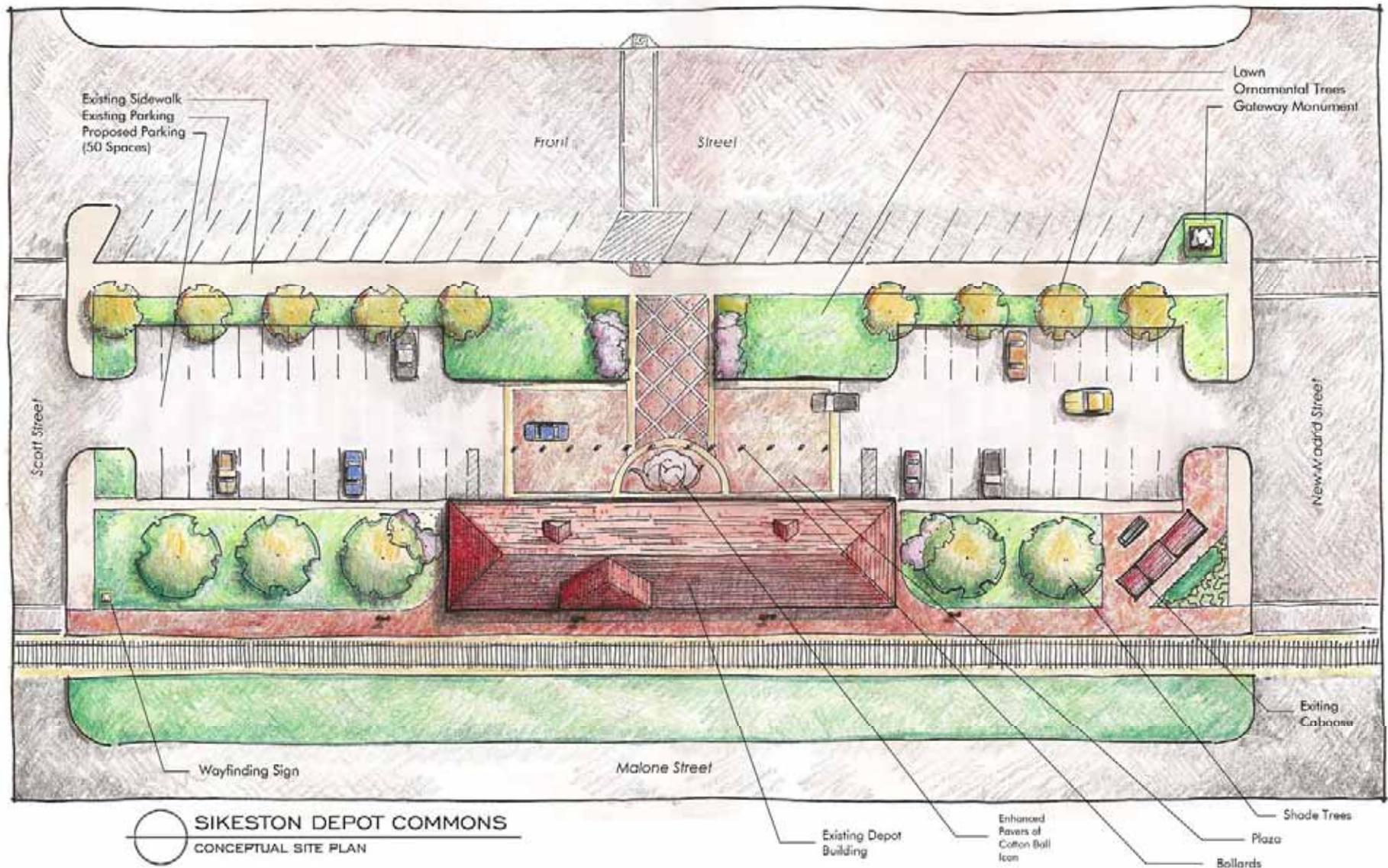
Legion Square: Proposed Conceptual Site Plan



Legion Square: Proposed view of bandstand and plaza improvements



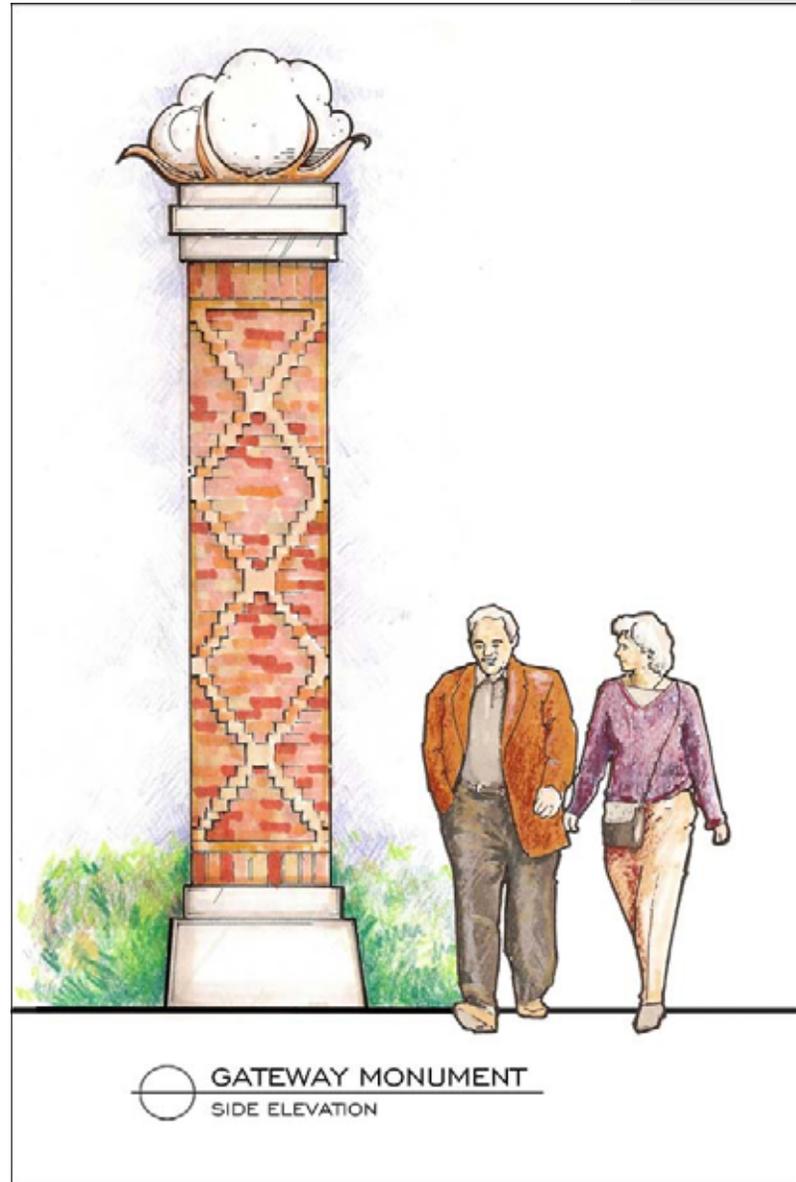
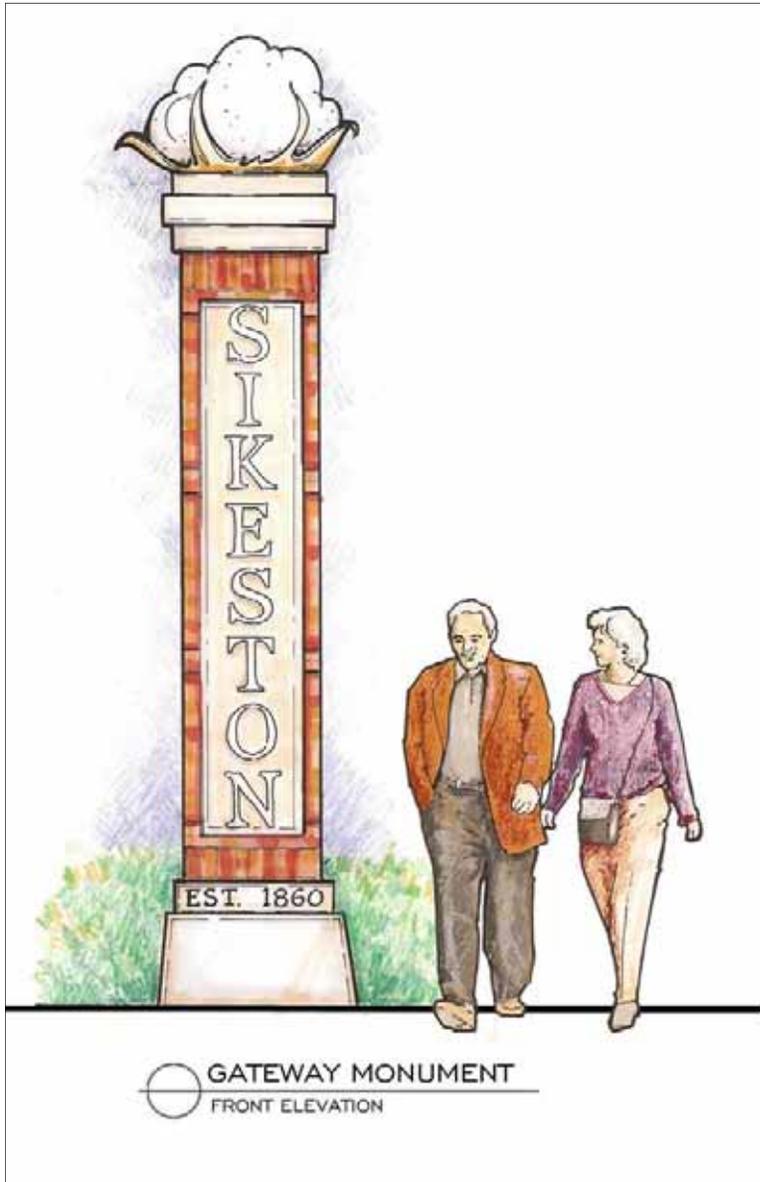
Depot Commons: Proposed Conceptual Site Plan



Depot Commons: Proposed view of plaza and parking lot improvements



Sikeston Monument Signs



Sikeston Monument Signs: Proposed view of monument at the intersection of New Madrid St. and Front St.



Sikeston Streetscape Enhancement



Existing & Proposed Streetscape

Downtown Sikeston Study Area
City of Sikeston, Missouri

Legend

- Phase I
- Phase II & III
- Phase IV
- Gateway Monuments
- Wayfinding Signs
- Study Area



APRIL 2009
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WAYFINDING

Wayfinding Principles

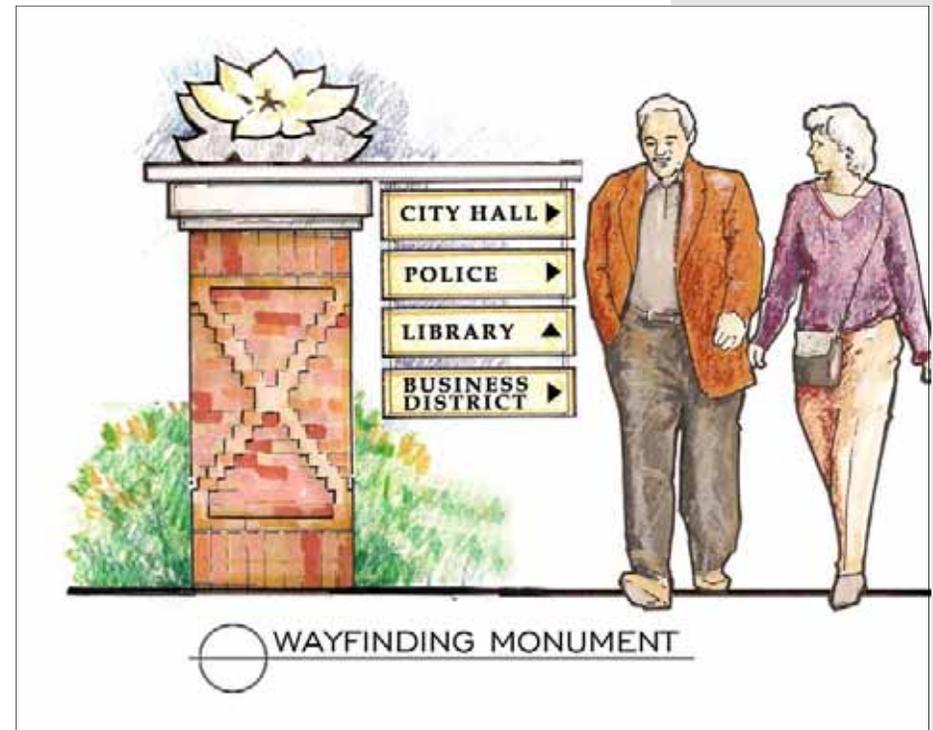
Wayfinding is an indispensable tool for directing travelers to destinations while at the same time creating a positive first impression. The term wayfinding was originally coined by Kevin Lynch in his seminal 1960 book *The Image of the City*. Lynch presented the concept that people use a cognitive map to move through their environment to their destination. Wayfinding develops a system to assist travelers in interpreting the map.

Wayfinding systems have been used for many years in institutions such as colleges and corporate headquarters. As it is commonly recognized today wayfinding helps travelers *find their way* to the destination, in this case Downtown.

In relation to community planning and specifically to Downtown Sikeston, the goal of the wayfinding system is to make the journey to Downtown as transparent and seamless as possible. Furthermore, by taking a comprehensive approach in developing the wayfinding system it can reinforce the community's unique identity and sense of place. This can be accomplished through four main aspects that can be controlled and enhanced through appropriate design and building codes:

Architecture:

- Visual clues of buildings and other features of a street aid people in knowing their location and the direction of their destination without the use of signage.
- Noble architecture serves as landmarks and orientation points. These points are often destinations as well as starting points and other wayfinding techniques should utilize this aspect. City Hall, the Library, and the Church Columns are good examples of landmark architecture in Downtown Sikeston.
- Buildings have visual aids, such as pediments or lights, that draw our eyes to where we expect an entrance or a shop window to be located.



Potential wayfinding sign for Downtown Sikeston

Sight Lines:

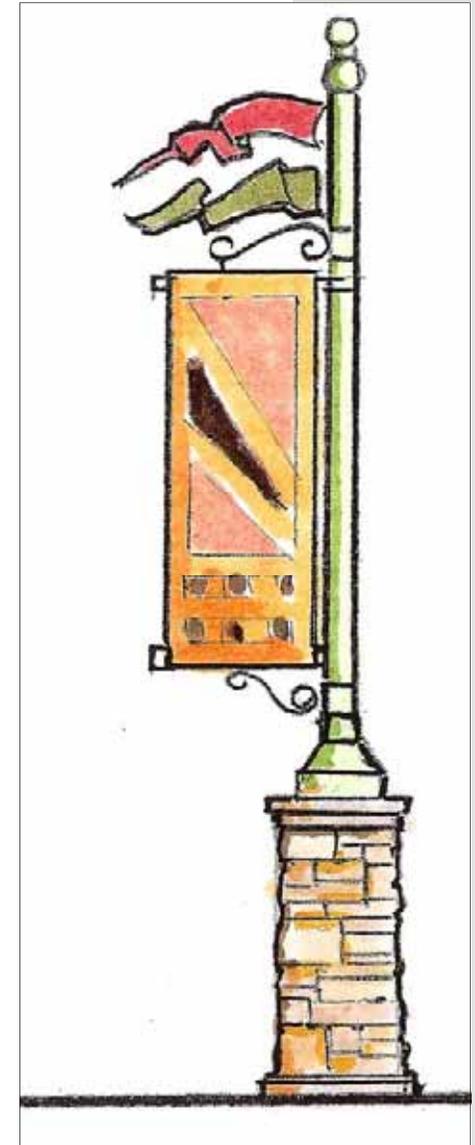
- The motorist will feel most comfortable in maintaining visual contact with his or her destination and will want to make as few direction changes as possible.
- Clean and clear lines of sight at key intersections should be maintained.
- Avoid allowing buildings to encroach or block these lines.
- Repetitive landscaping and site furnishings can enhance and draw the eye down these streets, but care must be taken that these items do not obstruct important navigational landmarks.

Lighting:

- Lighting can be used to define routes and pathways.
- Warmly lit storefronts and entrances draw the eye and provide the customer with the information needed to locate the business.
- A repetitive line of lighting can be a very effective navigation tool.
- Poor lighting causes missed information and leaves an unsafe impression.

Signage:

- Uniform signage at important decision points is a critical element of downtown wayfinding.
- Excessive signage will lessen the effectiveness of individual signs. Fewer, easy to read, appropriately placed signs are preferred.



Historic district gateway sign.

Wayfinding Components

Wayfinding systems are made up of components that create an arrival sequence to the Downtown. The system consists of common themed signs, of various types that direct travelers to attractions.

A successful wayfinding system is made up of many components that can be utilized in a variety of configurations. Some communities may require only a few of the components or can gradually add components into a complete system. Determining how many of the components a wayfinding system needs, depends upon the size, number and type of street.

Arterial and local collector streets are typically the location of gateway, historic, historic district, and trailblazing signs. These streets comprise the transportation corridors which focus the traveler into the downtown. They are discussed in detail as follows:

- Historic District Corridor— The central component and primary focus of the streetscape improvements and wayfinding system. This corridor includes the final approach, as well as the main arteries of the historic district. Signage types for this corridor typically include Historical District Gateway and Proximity signs.

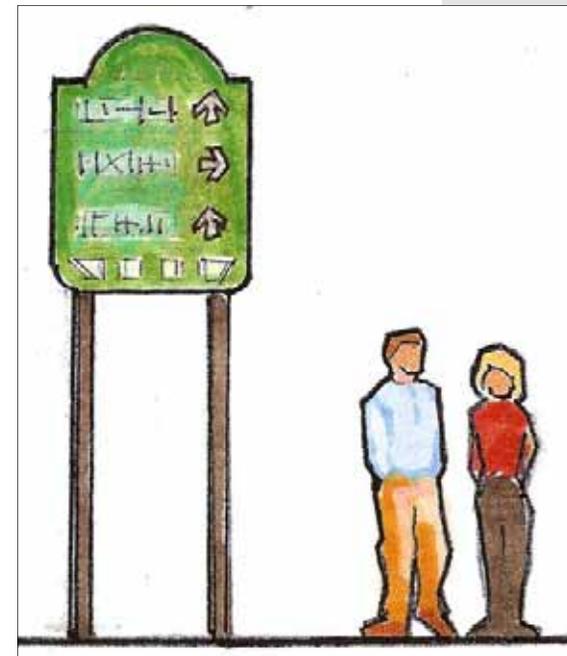


Wayfinding signage
(Webster Groves, Missouri)

- Residential/Commercial Entry Corridor— The areas immediately surrounding Downtown, a secondary focus for streetscape improvements and primary focus for residential improvement programs. Usually contain a small to moderate amount of commercial businesses, converted residential, and residential. Signage types for this corridor typically include Trailblazing and Proximity signs.
- Commercial Entry Corridor— Typically the beginning of the wayfinding system for travelers. The corridor consists of commercial and institutional uses and should focus on simple design treatments that reflect the scale and traffic. Signage types for this corridor typically include Primary Gateway and Trailblazing signs.

As stated earlier, a successful wayfinding system is made up of many components, including but not limited to these categories of signage:

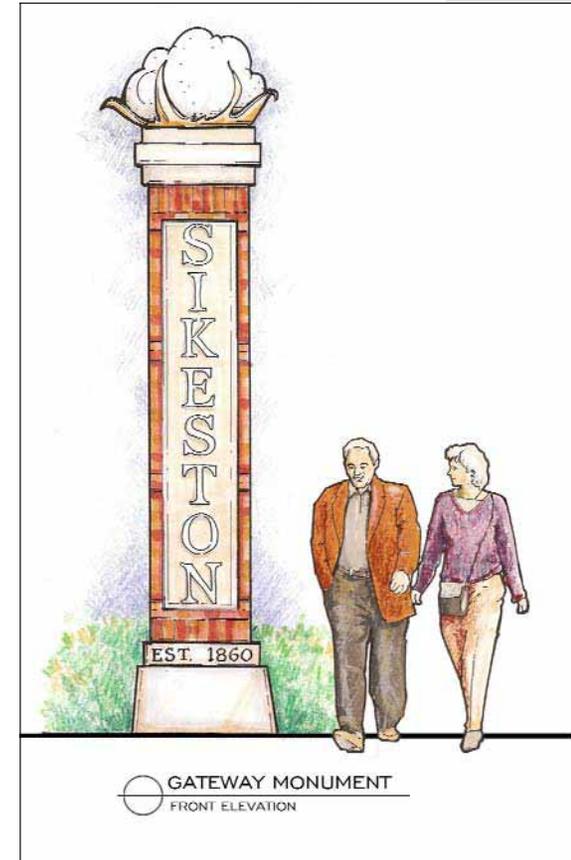
- Primary Gateway Sign— Serves as the “Welcome” to a visitor, creating the first impression of the community. The sign should be significant, serving as a landmark.
- Trailblazer Sign— Utilitarian purpose combined with unique branding and design elements. Attractions to consider as destinations on Trailblazer Signs include; Downtown, Historic Districts, museums, event areas, government offices, parking, colleges/universities, and visitor centers. Signs should be located at or near a key transportation node.



Trailblazer sign

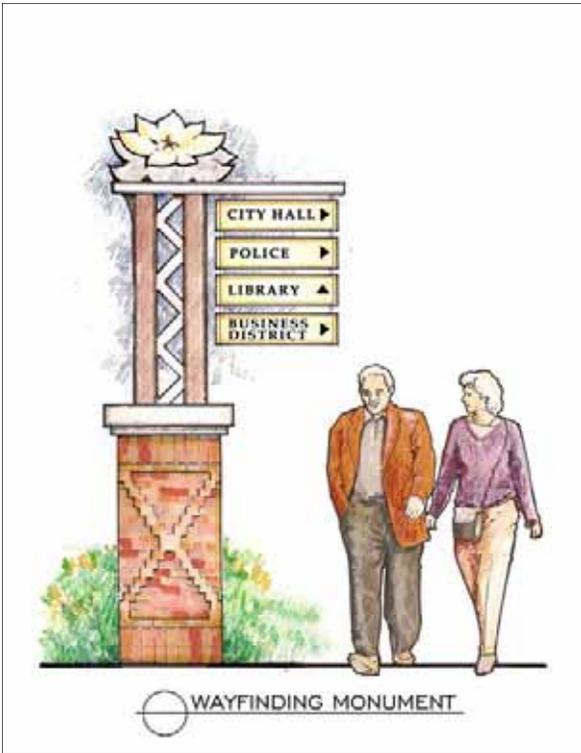
- Historic District Gateway Sign— Creates a boundary for the Historic District, should be used within the Historic District Corridor. These signs should reflect the size, scale and character of the architecture within the district.
- Proximity Signs— In close proximity of the attractions these signs direct visitors to the destination.

All signs and banners included in the wayfinding system should have a simple and uniform design. Above all, the signs need to be brief and easy to read with large type face, appropriate coloring, and adequate character spacing. The wayfinding system signs should be unique and stand out in their surroundings. Sign guidelines should be developed using the Manual of Uniform Traffic Control Devices, published by the Federal Highway Administration (FHWA).

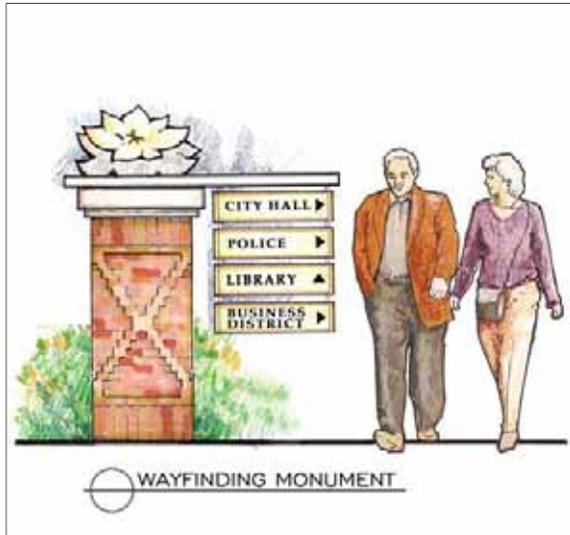


Potential wayfinding sign for Downtown Sikeston.

Recommendations for Wayfinding



Potential wayfinding signs for Downtown Sikes-



Wayfinding kiosks can present detail and useful information for downtown pedestrians.

IMPLEMENTATION

Recommendations

The first step towards implementing the recommendations contained in this report is to continue to build public support. Effectively communicating the benefits of the building and streetscape improvements will help to mitigate misunderstanding and opposition. Explaining the positive impact to the community as a whole, beyond Downtown will help to garner broader community-wide support. And strategically maintaining visibility and positive momentum will keep these recommendations and the overall downtown revitalization program successful.

- Begin the process of developing the wayfinding system. Charge the Historic Midtown Development Group, Inc. (HMDG) or a Wayfinding Committee with the project oversight. The committee should meet with major attraction owners/managers, tourism officials, government officials to discuss which attractions should be included in the signage system. (Specifically, those listed on the trailblazer and proximity signs) Next determine the amount of money that is available from those participating groups and identify other mechanisms to fund the improvements. The DREAM Financial Assistance Review and Strategic Plan will address funding in greater detail. Finally, contract with a sign company to develop the design of the signs.
- Continue to implement the streetscape plan, which was begun in 2008. Utilize the same site furnishings, street lights and street trees throughout Downtown Sikeston. Identify opportunities for private support of individual streetscape components, such as benches, banners and street trees.
- Develop a process to finalize the concept plans of the Legion Square and Sikeston Depot. The process should identify costs, design programs, phasing of improvements and funding sources.
- The City should review its code enforcement practices and ordinances to see if adjustments or improvements are necessary. Regulations should include the following:
 - Address safety concerns and ensure accessibility.
 - Secure the condition of the downtown structures for longevity. Quality construction practices must be the standard.
 - Promote the conservation and efficient use of natural resources. Sustainable design materials, energy efficient systems and innovative building methods should be considered.
 - Regulations should be flexible with a process for variances, which will not compromise quality.

- The Historic Midtown Development Group (HMDG) should organize a seminar series aimed at area contractors and downtown property owners concerning appropriate restoration procedures for downtown buildings.
- HMDG should work with the City and Chamber to develop a sponsorship program whereby individuals or businesses can “sponsor” specific site furnishings for public use. The sponsorship should be acknowledged through placement of a plaque on the site furniture.
- HMDG and City should create a formal “Adopt-a-Landscape” program whereby the maintenance of the landscaping can be performed by civic groups and organization throughout the downtown area. The City should supervise, but allow the volunteers freedom to install annuals and perennial plants, remove litter, and clean-up on a quarterly basis. The City should post a plaque acknowledging the volunteer organization.