

Trenton, Missouri



DOWNTOWN
REVITALIZATION &
ECONOMIC
ASSISTANCE FOR
MISSOURI

BUILDING AND
STREETScape
DESIGN GUIDELINES
MARCH 2012



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1.0 INTRODUCTION

1.1 Background

The Business District of Trenton developed during the late 19th and early 20th century included traditional street front commercial facades. These facades, which typically lined both sides of the street, had continuity of materials, scale, and style. Because of their similarities in design the street had an appearance of rhythm and order. Similar patterns and elements were repeated creating a visual connection among all facades in Downtown.

Commercial facades in Trenton were typically one, two or three story masonry with a high level of detail incorporated in the exposed upper façade masonry. Masonry details included corbelled recessed window panels, stone window sills, arched windows and corbelled cornices. Many buildings also featured painted pressed metal cornices with rich architectural details, often including the building name and year of construction.

Downtown Trenton's street grid developed with a traditional alignment to Cardinal directions but also included streets aligned to the railroad tracks, which lay northwest/southeast at Downtown. Trenton's unique street grid led to the creation of many irregularly shaped parcels. As Downtown buildings were constructed to fit the irregular shaped parcels, many irregular shaped buildings resulted. Some of the buildings in Downtown Trenton resemble the "flat iron" shape that attained notoriety in many large metropolitan areas around the same time as Trenton's development.

A very unique characteristic of Trenton, one that also illustrates the unique street grid, is the Downtown intersection known as "5 points" where three streets intersect with a flag pole located at the middle of the intersection.

1.2 Intent of Guidelines

Historic Downtown Trenton has many outstanding attributes, and opportunities for improvement. This document is a guide to recapturing the charm and historic feel of Historic Trenton and encouraging appropriate new development. All elements of Downtown should have the look and feel of belonging in the same composition. This composition begins with an appreciation of the original Downtown architecture, and includes newer buildings and structures, to create a Downtown fabric.

The design guidelines will guide new development and rehabilitation of existing buildings to bring back the vitality of the district and restore a sense of civic pride. For Downtown revitalization efforts to succeed, they must respect the tradition of rhythm and unity that originally existed and not try to create an exact copy of the historic past. Working within the existing fabric of Downtown Buildings the community should develop a sensible approach to the renewal of the district including; the removal of inappropriate materials, adherence to the design guidelines, and developing appropriate streetscape improvements.

The building facades along with the sidewalks and street make up the outdoor living room of Downtown. This space is at the center of the community, alive with activities and events. As such, the responsibility of redevelopment falls on the community as well as to individual property owners and the city. Individual building façades are owned and maintained by private property owners. Street improvements, utilities, and sidewalks are the responsibility of the city. An individual owner cannot be expected to invest in redeveloping his building without the city commitment to restore the streetscape, and the city cannot be expected to undertake large public investments without commitment and support from affected property owners. Both aspects of Downtown must be redeveloped at a similar pace for successful revitalization.

Downtown Trenton has developed an ongoing revitalization effort using both private and public means. Portions of the local historic district have undergone restoration & renovation efforts including new street lights, renovated storefronts and new sidewalks. There are many restoration projects underway on significant Downtown buildings and several other have been recently completed.

2.0 BUILDING DESIGN GUIDELINES

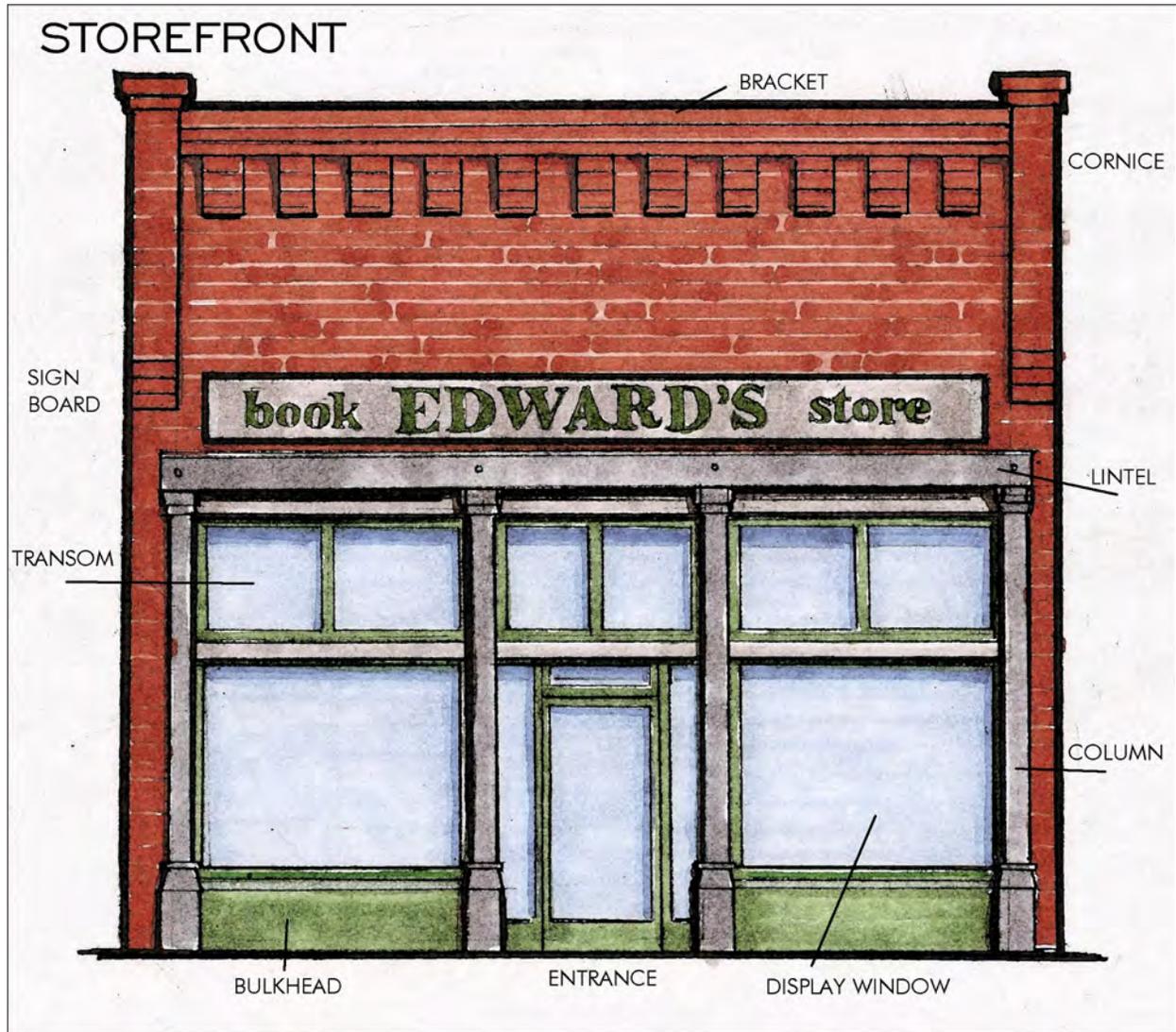
2.1 Downtown Fabric of Buildings

While these guidelines are written for Downtown Trenton, the design concepts are sound advice that might be applicable elsewhere in the community. The design concepts are written for commercial uses and are not intended for residential areas. In many cases, the principles discussed can be altered and adapted for other areas of the City, but care should be taken that Downtown remains unique in character.

To successfully support the revitalization of Downtown Trenton, the Downtown property owners, City staff, elected officials, and other community organizations will have to change the way they think about Downtown and make a long-term commitment to an overall unifying theme, feel, and sense of atmosphere. Downtown revitalization will not happen overnight, in a week, nor in a month, nor in a year. Trenton will not wake up one morning and be “finished” with the establishment of the downtown place. This will be an ongoing effort that will evolve, pick-up speed, slow down, be applauded, and be criticized. The one constant should be the desire to slowly adjust the downtown core to an atmosphere that is attractive to Trenton residents and its visitors. In this overall “fabric of downtown” there will be 3 types of structures; those that contribute to the integrity of Downtown, those that detract, and those that do neither. The objective is to maximize contributing Downtown elements and minimize detracting elements, over time.

2.2 **Building Zones**

Improvements to individual buildings will be discussed in the context of three distinct 'zones'; the Storefront, the Upper Façade, and the Rear Elevation. Some elements of the front of a building are depicted in this diagram.



2.3 Façade Elements

The various elements of a facade must be balanced. Appropriate massing, building and floor heights, proportions, roof lines, materials, and setbacks are critical considerations in new construction. Any future development should be encouraged to implement a design that contributes to the fabric of Downtown. Any future development should be encouraged to implement a design that compliments existing Downtown buildings.

Other aspects like architectural details, colors, and cornices are more important to the restoration of historic buildings, but can be used effectively in new construction as well. Developing a well balanced character between all elements can allow a building to be very individual in its character, but at the same time be a complementary thread woven into the overall fabric and feel of downtown.

2.4 Rhythm

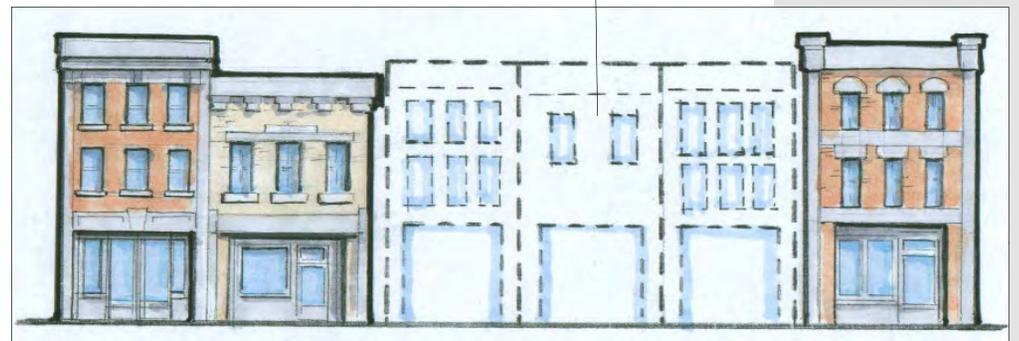
The defined rhythm of Trenton should be maintained along a street frontage by adhering to uniform lot widths, building widths, and window spacing.

- New infill buildings and structures should maintain the rhythm through proper repetition of details and orientation to the street.
- Vertical elements, entrances, lighting, and other street furnishings can also develop the rhythm of a specific block.

New facade fills opening.



New facade as a series of bays.



2.5 Alterations

Encourage removal of inappropriate alterations or additions that disrupt the fabric of the Storefront Zone. It is possible that non-historic and new construction can complement the building fabric that has developed, therefore some alterations may not need be removed. Decks, ADA structures, and other 'detachable' alterations can be utilized, but should be as unobtrusive as possible and located on the rear or sides of the building.

As a rule, any and all alterations or additions to the Upper Facade zone should be removed. Alterations in this zone can significantly change the appearance of the face of the building. This includes any and all signs and lighting as these should be restricted to the Storefront Zone. Avoid removing or altering any historic material or significant architectural features. Care should be taken during the removal process due to the possibility of damaging original elements hidden behind the alterations. When disassembly of a historic element is necessary, use methods that minimize damage to the original materials.



Original design.



Minor alterations.



Storefront is lost.



Significant alterations.

2.6 Masonry

Masonry is typically the preferred facade material for downtown. Most existing construction will utilize some masonry. In most instances metal and wood siding is not a comfortable choice for downtown building fabric. These types of siding provide harsh lines, stark contrast, and no relief or warmth to the buildings. If wood was the historic material, it may be restored.

- Masonry restoration, particularly on historic structures, should be done by professionals, if possible
- If the masonry has been painted or stained a minimally intrusive removal process should be used.
- Never resort to sand blasting as this will permanently damage the brick.
- Unpainted masonry should remain natural, not painted or sealed.
- Damaged masonry should be repaired or replaced with similar color, texture, and style masonry products.
- Tuck pointing should be done with an appropriate mortar material with a consistent color across the entire facade.
- Masonry replacement and/or repair should only be done with appropriate materials.
- Portland cement as a patch for masonry is unacceptable.
- If a historic facade has been covered with metal or wood siding it should be removed. Exposing the underlying brick masonry will help re-establish the character of the building and contribute to the visual continuity of the block. Metal cladding often is easy to remove, and only small areas of the underlying material will have been damaged.
- Cover-ups also hide interesting details that can enhance building identity. If, after removing the covering material, portions of the original must be replaced, use a material that is similar to the original in color and texture.
- Re-pointing of stone foundations should use appropriate mortar mixes
- Regular maintenance of stone foundations should occur to prevent structural and water damage.
- Water proofing of foundations should be applied beneath finish grade or inside of structure.



Inappropriate patching to cheaply repair brickwork.



Tuck pointing with an appropriate mortar

2.7 Awnings

Awnings used in the storefront zone provide shade for merchandise, shelter for pedestrians, and bring a colorful accent to the building front that can be changed frequently and without great expense. The following suggestions enhance appropriate use of awnings and improve downtown aesthetics:

- Mount the top edge to align with the top of the transom, or to align with the framing that separates the transom from the main display window. This will help strengthen the visual continuity of store fronts.
- Roll-up awnings were a common site on historic storefronts and can be used following a similar approach to the original application. If a roll-up awning is not operable, the awning should at least follow the shape of an operable awning.
- Like the storefront, awnings should be confined to the extent of the original storefront opening.
- Awnings should be trapezoidal in profile with closed ends, not rounded or curved, and a consistent color.
- Awning colors should coordinate with the color scheme for the entire building.
- Awning signage or lettering should be limited to the hanging vertical flap of the awning and be complementary in color to the building.
- Awning signage or lettering should not be allowed where another flush faced sign exists.
- Signboards under the awning intended to assist pedestrians should be a limited, uniform size and complement the awning and building.
- Awnings will wear and should be acknowledged as an operating cost of doing business which can be changed every few years for a fresh look.
- Aluminum and/or steel awnings and structures are not original building elements and typical detract from the overall appeal of downtown facades. These awnings should be removed and points of attachment repaired on the building facade.



Current awnings in
Downtown Trenton.





Wood Shingle canopies are inappropriate on downtown buildings



Awning installed too high.



Appropriate use of awnings



Awnings in disrepair



2.8 Lighting

Buildings should be interesting to pedestrians and motorists at night, as well as by day. A well-lit storefront or rear elevation creates a positive impression about downtown. The following lighting conditions can be implemented to enhance the attractiveness and safety of the downtown:

- Use lighting as a design element to draw attention to the entire building, not just the sign.
- Any lighting at the storefront should be used to accent the entrance, signage, or architectural elements as well as provide light for safety and security.
- Light fixtures should be the lowest wattage possible and of a concealed, simple, and non-intrusive design or a style that is appropriate to the period of the building.
- Sign lighting should be balanced in color and intensity with light in display windows.
- Warm-colored light is preferred for all exterior lighting, since this is more pleasing to the eye, and will more easily draw attention to window displays.
- Neon lights and cool fluorescent lights should not be used.
- Lighting on rear elevations should provide illumination at the entry door as well as along the pedestrian path from the parking area. This lighting should be similar to the lighting in the front.



Inappropriate style of lights & too high of a wattage



Lighting illuminates the doorway & Spot lights for entrance signage



Use lighting to highlight building entrances

2.9 Business Signage

For a successful Trenton Downtown each business must have its own identity while at the same time maintaining the continuity of the district. Appropriate signage identifies the business without detracting from the architecture of the building and the fabric of downtown. Sign types and their locations should be kept simple and consistent for ease of public awareness. Signage should be restricted to the storefront zone sign band. The following guidelines will help enhance this aspect of Downtown Trenton:

- The size of the sign should be of an appropriate scale for the building and street. Large signs should not be needed as the signage in a downtown area is more oriented to the pedestrian than the motorist.
- Rooftop, blade, pole, abandoned, neon, electronic message boards, and billboard signage should not be allowed or severely restricted.
- Position flush-mounted signs that fit within architectural features are preferred. This type of signage will help reinforce horizontal lines along the street.
- Coordinate color schemes with the building front.
- Locate flush signs so they do not extend beyond the outer edges of the building front.
- Where appropriate use existing decorative moldings to define a “sign panel” for flush-mounted signs.
- Locate projecting signs along the first floor level of the facade, not above.
- Place signs near the business entrance, to guide a customer’s eyes to the door.
- Use symbols in projecting signs; these are more easily identified and remembered and will add interest to the building.
- Where several businesses share a building, coordinate the signs by aligning several smaller signs or grouping them onto a single panel as a directory to make them easier to locate. Use similar forms or backgrounds for the signs to tie them together visually and make them easier to read.



Current Signage in Downtown Trenton

- Mount signs so they will not obscure any architectural details.
- Sign materials should be compatible with the facade materials.
- Good craftsmanship will pay off in longer service for your sign, and it will convey a stronger image to the public. Select high quality materials: Signs are exposed to extreme weather conditions, and a deteriorating sign presents a poor image to customers.
- Encourage the use of “custom” designs that portrays a business as being unique. Mass-produced signs, especially rectangular plastic panel ones with internal lighting, fail to make a lasting impression.
- Illuminate signs in such a way as to enhance the overall composition of the facade.
- External lighting cast from period style, non-intrusive fixtures is preferable to internal sign lighting.
- Awning signage or lettering should be limited to the hanging vertical flap of the awning and be complementary in color to the building.
- Awning signage or lettering should not be allowed where another flush faced sign exists.
- Signboards under the awning intended to assist pedestrians should be a limited, uniform size and complement the awning and building.



Signboards on Sidewalk
(Hannibal, Missouri)



Free-standing entrance sign
(St. Charles, Missouri)



Flush mounted sign over store entrance
attracts customers.
(Washington, Missouri)

2.10 Bicycles

Downtown should not only be pedestrian friendly, but bicycle friendly as well. The City of Trenton should make bicycle travel an enjoyable means of transportation in Trenton. Downtown plans should implement bicycle facilities which can be used by local citizens and tourists. The city should identify opportunities for future bicycle facilities in downtown and throughout the community. Such facilities may include the following:

- Bicycle racks which should have the uniform design of materials, color and style as other site furnishings.
- Directional and regulatory street signage which identifies local streets as bike routes and share the road routes.
- Wayfinding signage to direct cyclists to various destinations within downtown.
- Public restrooms and drinking fountains
- Dedicated bicycle lanes on streets, where feasible and possible.

The City of Trenton should promote the use of cycling to and through the town. Developing a bicycle network plan which would identify local streets as the defined bike routes of town, would provide a safe and well organized plan for cyclists and automobile drivers to understand. Implementing bicycle facilities will provide an alternative means of transportation and another recreational experience for visitors and locals.

Considering the prevalence of bicycle transportation among college students, and increasing number of college students at North Central Missouri College Trenton should integrate bicycle transportation into all planned streetscape improvements for Downtown.

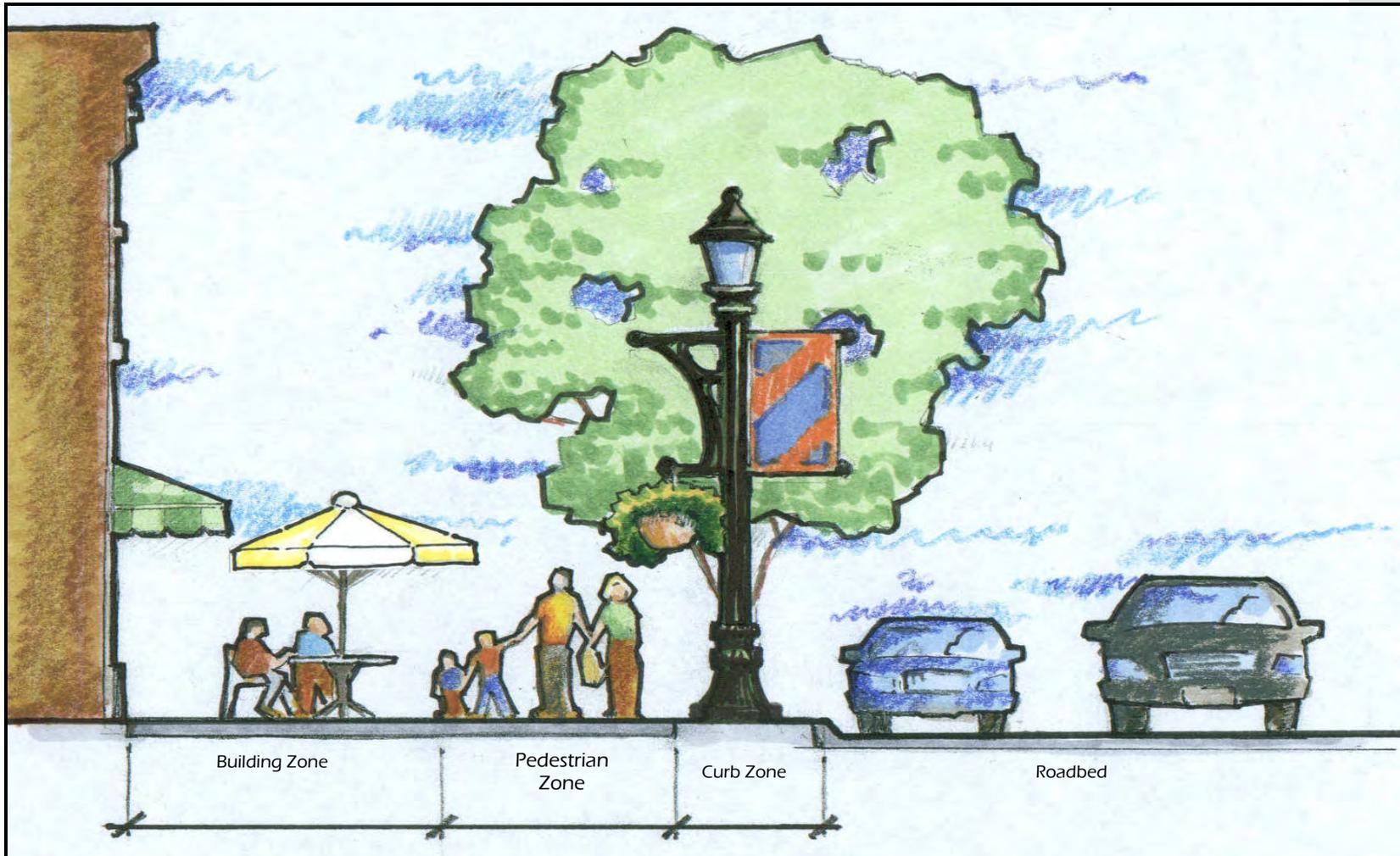


Bicycle racks.
(Webster Groves, Missouri)

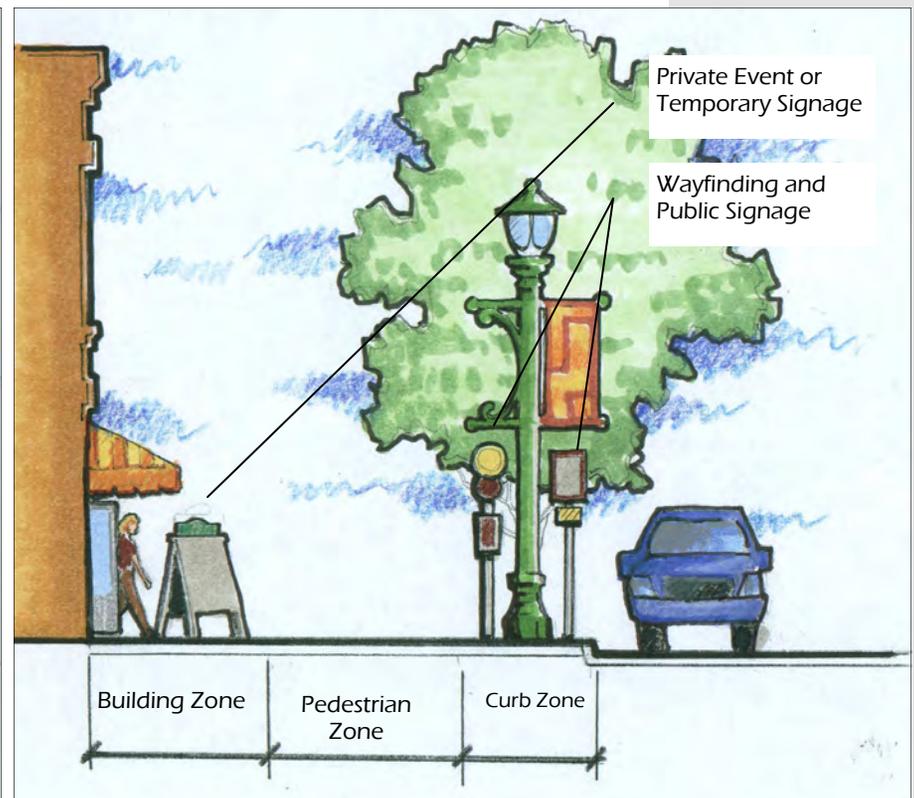
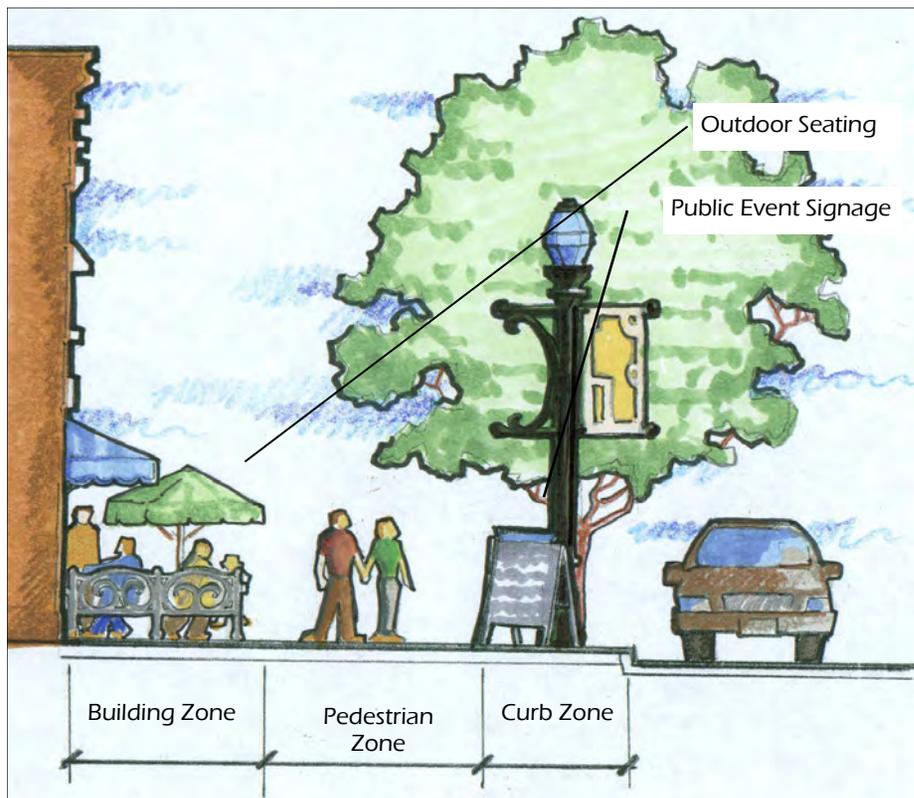


2.11 Sidewalk Zones

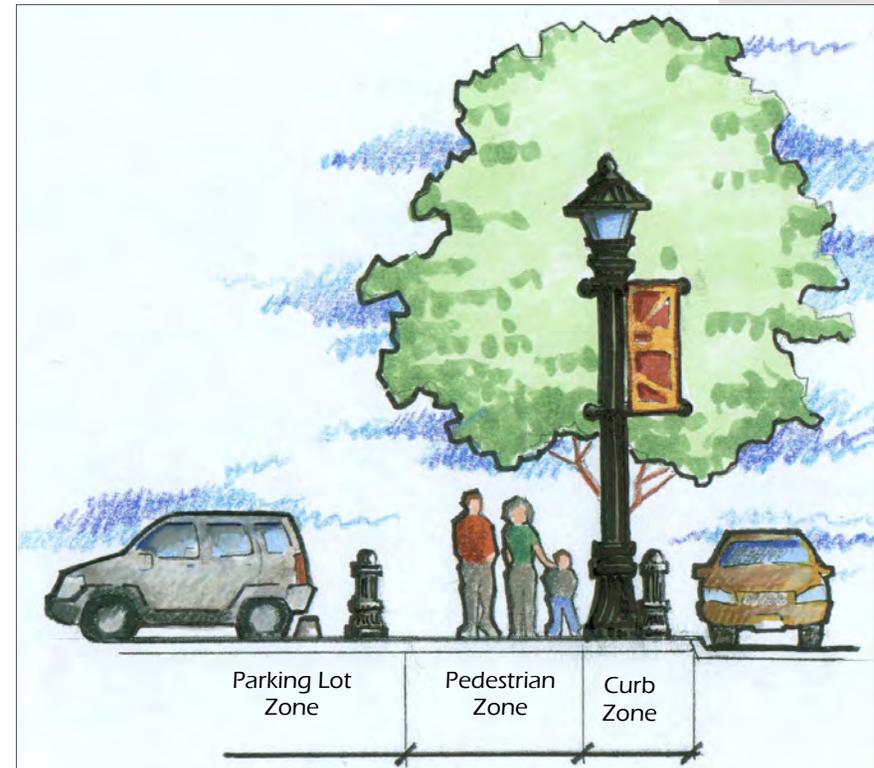
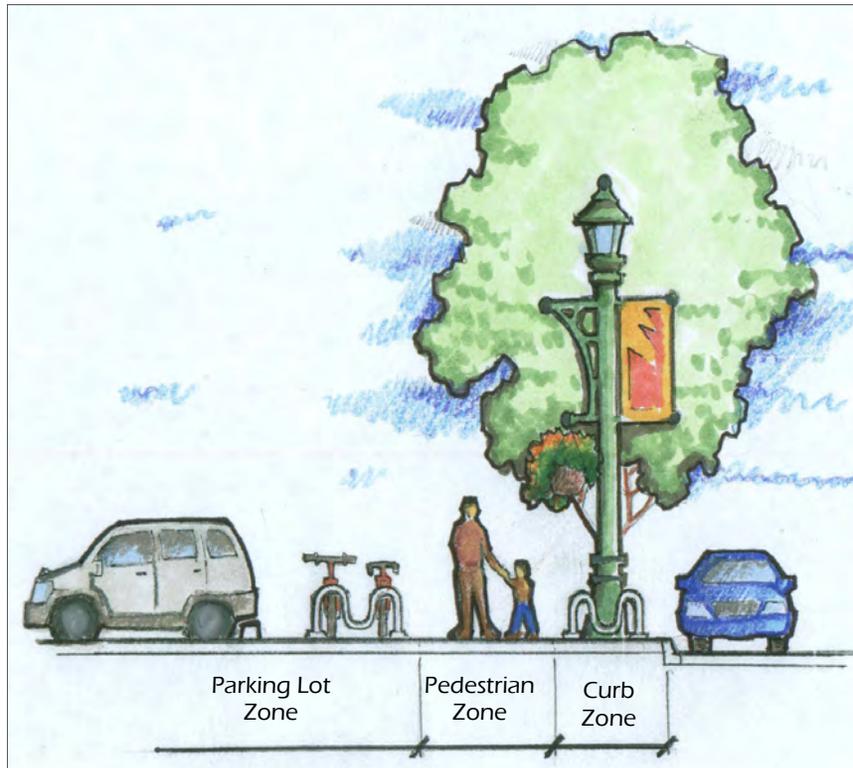
Appropriate zones in front of a building should be maintained. The Building Zone, Pedestrian Zone, and Curb Zone all have unique characteristics that should be regulated to ensure that private elements do not adversely impact public improvements. These are also important aspects of the streetscape plan to be discussed later in this document.



- Aside from ADA accessible pavement improvements, Streetscape Amenities should remain clear of the Pedestrian Zone and allow for free movement of pedestrians. These elements will enhance the pedestrian experience, but must not obstruct them.
- Businesses should be informed on the importance of maintaining Sidewalk Zones. Each business should care for the zones within their building's street frontage.



- Items such as bicycle racks, bollards, and benches can add to the streetscape
- Businesses should consider providing and maintaining such elements within their Building or Parking Lot Zones to enhance service to their patrons.

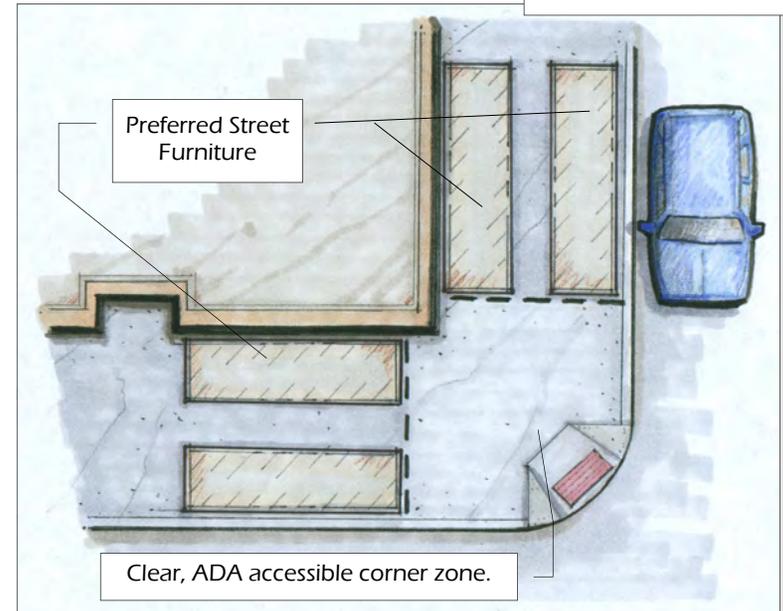


2.12 Outdoor Café Seating

Outdoor Café or sidewalk seating is an exiting tool that adds to a vibrant impression about downtown. Seating areas for restaurants should be encouraged, but monitored by the City. A proper arrangement will:

- Be located in the sidewalk area fronting the restaurant.
- Allow a clear and unencumbered path along the sidewalk for pedestrian traffic or be located close enough to the building. In either case the sidewalk must maintain ADA compliance. The restaurant owner is responsible for keeping the sidewalk and this pathway clear at all times.
- Areas adjacent to the building should not block entrances or exits to the building.
- Provide a clearly defined area connected with the restaurant.
- Utilize appropriate umbrellas or other patron covering in a uniform color, matching the building colors, and with only the restaurant name. Any other wording or message should not be allowed.
- Temporary outdoor seating material must be kept in top condition to provide an attractive image for the restaurant and all of downtown. Such furnishings should be durable, weatherproof, and sturdy enough to prevent movement by winds.
- Plastic furnishings should not be used.
- Furnishings should be stored in a secure location inside at the end of the day.
- At least one sturdy trash receptacle should be provided.

Proper location of cafes is important for safety, success, and aesthetics.



Examples of Outdoor Café Seating

2.13 Maintenance of Facades

Facades, particularly restorations, may need extra care and maintenance. The city should encourage proper maintenance through code and nuisance enforcement. In addition, if the city has implemented any sort of incentive for facade work a requirement should be proper maintenance according to city standards. An example would be the ability to utilize a revolving loan should the facade fall into disrepair.

2.14 Accessibility

Design guidelines should not prevent or inhibit compliance with accessibility laws.

- All new construction shall comply completely with the American with Disabilities Act (ADA)
- Owners of historic properties also should comply with the ADA to the fullest extent, while also preserving the integrity of the character defining features of their building.
- Special provisions for historic buildings exist in the law that allow some alternative solution in meeting the ADA guidelines.
- Consult with the City of Trenton and the Missouri Department of Natural Resources for more information regarding compliance or alternative solutions in meeting the ADA



Downtown Buildings have been well maintained.

2.15 Historic Buildings

2.15.1 Original Elements

Any original element or material that still exists, particularly on the storefront, should be retained if possible. Original elements provide a historic value that can not be replaced. Prisms glass in transom windows or a decorative wooden door with beveled glass would be an examples of original materials.

Replacement of missing architectural elements should be based on accurate duplications of original features. When an entire detail must be reconstructed the new material should match the original in design, color, texture, and other visual qualities. Where reconstruction of an element is impossible because of a lack of historical evidence, then a new design that relates to the building in general size, scale and material may be considered. Use design elements that reflect the building's style. A simplified interpretation of similar features on comparable buildings may be acceptable.

2.15.2 Storefront

Entrance:

- The entrance door should be recessed to emphasize the entry, provide a bit of shelter and remove the open door from the path of pedestrians on the sidewalk. These areas also repeat rhythm of shaded areas along the street helps to identify business entrances.
- If the original recessed entry has been removed, consider establishing a new one.
- The recessed entrance door should also be ADA compliant.
- The door should provide a view into the building as well as a sense of openness. Solid doors should be avoided.
- Consider using an accent color on the door.



Plaza Apartments, Senior Housing, Downtown Trenton



Recessed Entrances align with sidewalk edge
(Washington, Missouri)



Well designed & coordinated storefront
(St. Charles, Missouri)

Windows:

- Preserve any of the large panes of glass that make-up the original store front if they still exist. These transparent surfaces allow pedestrians to see goods and activities inside.
- Any new or replacement storefront should be built of similar materials compatible with the original facade design and craftsmanship.
- Wood framing similar to the original is preferred but metal framing with the appropriate historic profile is acceptable.
- Clear insulated glass with low 'E' coating is a good choice for replacement storefronts.
- Tinted or reflective glass and interior reflective films should not be used on the storefront.



Recessed Entrances in Downtown Trenton.

Spandrel Panels:

- Maintaining the original spandrel panel, if it exists, is preferable but if the panel is missing, reconstruction using old photographs as a guide is acceptable.
- Coordinate the color scheme of the spandrel panel with other facade elements.
- If original design information is not available, another option is to design a simplified panel using appropriate materials such as painted wood or metal.



Recessed entrance with detailed kick plates creates an inviting experience for the consumer (Washington, Missouri)



Historic Storefront (St. Charles, Missouri)

Transoms:

- These bands of glass are found on many buildings and they often align at the same height in a block. Maintaining this line will help to reinforce a sense of visual continuity for the street.
- When transoms are covered and original moldings and window frame proportions are concealed, the impact of the store front is weakened. If the interior ceiling is now lower than this glass line, move the dropped ceiling back from the window to maintain its historical dimensions.
- Some transoms have hinged panels to allow natural ventilation. Restore these to working order where feasible. Used in combination with ceiling fans these operable transoms can be very effective in improving comfort levels when full air-conditioning is not as necessary.



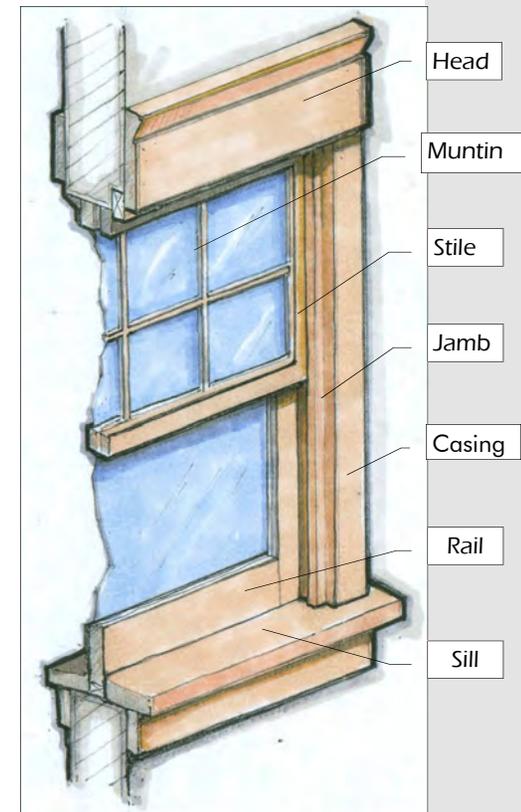
Buildings which preserve the transom



Great example of a facade with intricate details well restored and maintained.

2.15.3 Upper Façade
Windows:

- Typical upper windows are vertically oriented and uniformly spaced across the building front. This rhythm of upper story windows is an important unifying feature of downtown, because it is repeated on most buildings.
- Any windows covered by masonry infill, wood panels, or mismatched windows should be removed.
- If the original window still exists, it should be restored to serviceable condition when possible.
- Replace only missing portions of original elements where feasible. Sometimes trim elements and other materials must be removed in order to repair or refinish them. Always devise methods of replacing the disassembled materials in their original configuration. Code trim pieces, for example, so you can replace them accurately.
- Installation of interior storm windows should be considered.
- If the existing window is beyond repair an appropriate replacement window of the same size and profile should be installed.
- Use design elements that reflect the style of the building. A simplified interpretation of similar features on comparable buildings may be considered.
- Window shades or curtains in colors that coordinate with accent trim should be encouraged.
- If the ceiling is lower than the window head, pull the ceiling back from the window to keep the original height at the window.



Cornice and Architectural Details:

- Replacement of missing cornices or architectural elements should be based on accurate duplications of original features. In some cases, an entire detail must be reconstructed. In the event replacement is necessary, the new material should match the original in design, color, texture, and other visual qualities. Photographic evidence is a good source for research.
- If the cornice is missing, a similar cornice of like size and scale should be installed.
- If no evidence exists as to form and detail, the reconstructed cornice should be as simple and non-intrusive as possible.
- If the cornice is intact it should be repaired and maintained as required.
- Where architectural details have been removed, look at photos for details to use as patterns for new designs.
- Where exact reconstruction of details is not feasible, consider developing a simplified interpretation of the original, in which its major form and line is retained.



Maintains stylistic elements
(St. Charles, Missouri)



Shutters (or blinds) are encouraged on upper level windows. They should be proportioned that if closed they would completely cover the window. Shutters can also provide accent color that ties in with street level design.
(Washington, Missouri)



Rehab that preserved ornamental cornice work at the top of the building.
(Neosho, Missouri)

2.15.4 Rear Elevation

The rear elevation typically faces an alley and provides access for deliveries and pick-up. In some cases customer parking is provided behind a building and entry to the business through the rear elevation is desirable. Attention to the appearance of the rear elevation can be extremely important to the quality of the customers' shopping experience. Consider how image can be improved here, while accommodating service functions.

Entry Door:

- The rear door will no longer be just for service but should project a sense of openness and welcome.
- Customers might also feel a loyalty or sense of 'special access' by using this door and the business can build on this loyalty by catering to that customer and improving that experience.
- A new door and hardware with a large area of glass may be considered.
- A small canopy or awning may provide some of shelter.

Upper Rear Elevation

The upper rear elevation elements should be treated similar to the front. Too often this is a facade that is neglected and allowed to deteriorate.

- Windows should be restored or replaced.
- Gutters and downspouts should be in good repair and painted.
- Use materials and colors that coordinate with the main facade so customers will learn to recognize both entrances are related to the same business.
- Use a smaller version of the front sign to identify the rear entrance.
- New exit stairs and balconies can enhance the marketability of second story space, especially when these lead out onto parking lots located on the back side of the building. Encourage installing new stairs that comply with current building codes.

Fences:

- Fences should be designed to harmonize with the surrounding structures in both scale and color.
- Some materials which may be appropriate include masonry, wood and wrought-iron.
- Chain-link should not be a permitted material.



Rear entrance & elevation that is well cared for and inviting
(St. Charles, Missouri)



Good rear entrance and landscaping
(St. Charles, Missouri)

2.16 Existing Non-Historic Buildings and New Construction

Some buildings in the Downtown do not have historic features or ornamentation. Many were built with simple fronts. These buildings and any new construction should implement the following standards:

- New construction should be of design considerate of traditional storefront elements described in these guidelines or on nearby historic buildings that contributes to the fabric of downtown.
- Use a simple design, complementary to the downtown, with three basic elements; a unified paint and color scheme, an awning, and non-intrusive signage.
- Emphasize horizontal features that can align with other buildings.
- Encourage highlighting a simple cornice, a band of color, a sign panel or an awning edge that can line up with similar elements on the street nearby.
- Some newer buildings downtown are set back from the street, with space in front for parking. These buildings are intended to relate to cars more than pedestrians. Landscaping elements that will enhance the rhythm and front position of adjacent buildings should be encouraged.

2.17 Color Guidelines

Use color to your advantage. Some of the most noticeable improvements are achieved simply with a fresh paint job. The most effective and economical schemes often start with the natural colors of the building materials themselves as a base, such as the native red of many brick buildings. The following techniques should be encouraged:

- Use only one base color for the majority of the background wall surface, but use a different color for accents. Do not paint a building entirely one color.
- Base colors should be muted earth tones or pastels.
- Look for “built-in” features of the facade that can be highlighted with an accent color.
- Window frames, sills, moldings, and cornices are potential elements to dramatize with a contrasting color.
- Use bright colors only in small amounts. Place them at the first floor level to direct the customer’s eyes to the business.
- Consider accent colors for signs, awnings, and entrance doors.
- Earth tones will hold their color well, as will darker pastels. Check for color stability in ultra-violet light; some colors, such as red, tend to be unstable and will shift in hue over time.



Block that follows same basic design principles
(St. Charles, Missouri)



Colors match surrounding buildings
(Washington, Missouri)

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3.0 SUSTAINABLE DESIGN

3.1 Introduction

The construction of sites and buildings have a significant impact on the natural environment. The operations of a site and a building, can also affect the air, land and soil of the downtown. Sustainable Design measures seek to lessen the impact on the natural and built environment. Such design efforts also aim to increase the efficiency at which buildings operate, in regards to energy use and operating costs. The design process is comprehensive, beginning with site selection and orientation; through specification of sustainable materials to energy efficient operating systems.

Downtown Trenton is a built environment of many historic buildings, modern buildings, public streets, parking lots, a few vacant lots and open space. Sustainable Design measures can be applied to both existing buildings and new buildings. The U. S. Green Building Council (USGBC) has become the leading organization in developing standards for sustainable design and operations of buildings. USGBC's certification system is known as Leadership in Energy and Environmental Design (LEED). The majority of LEED designated buildings are new construction projects, however the USGBC has also developed standards for the upgrade of existing buildings.

Sustainable design is a broad and encompassing initiative which strives to create a built environment which is good for both man and nature. The following recommendations only introduce the basic fundamentals of sustainable design regarding downtown buildings and environments. For additional information beyond these guidelines, numerous resources exists, such as:

- U. S. Green Building Council (USGBC) www.usgbc.org
- Whole Building Design Guide www.wbdg.org
- American Society for Testing and Materials International (ASTM)
ASTM E2432— Standard Guide for General Principles of Sustainability
Relative to Buildings www.astm.Standards.e2432.htm



Permeable pavers for parking area allow stormwater to percolate back into the soil and groundwater.



Interior flooring fabricated from bamboo, a rapidly renewable resource.

3.2 Fundamentals

Sustainable design measures are constantly changing, however there are six fundamental principles which constitute sustainability.

- 1) **Optimal Site Potential:** Consider site selection, building orientation and existing natural features of a site including topography, drainage, landscape and natural habitats. The rehabilitation and reuse of existing buildings should always be evaluated as an alternative to new building construction.
- 2) **Efficient Use of Water:** The design and use of water systems in a building maximize efficiency and recycle water for on-site use when feasible. Site design should seek to reduce stormwater run off from the site. Use best management practices (BMP) to limit stormwater run off, clean storm water and trap pollutants in the water before discharging into the sewer system.
- 3) **Environmental Materials and Resources:** Utilize building materials with a high percentage of recycled content or contain rapidly renewable materials such as cork flooring, bamboo cabinetry, wool carpeting, etc. Specify or use materials or items which are manufactured within proximity to the project site. Ideally, this proximity is no more than 500 miles.
- 4) **Optimal Energy Use:** The operation of a site and building identify methods for increased energy efficiency or use renewable resources such as solar or geo-thermal energy.
- 5) **Interior Environmental Quality:** Identify methods for creating a healthy environment, and increasing the comfort of building users. Proper ventilation, use of natural light, and moisture control are a few methods to ensure a quality interior space.
- 6) **Optimal Operations and Maintenance Methods:** Utilize building systems, furnishings and finishes which will have minimal operations and maintenance needs. Such systems will require less energy, less water and can be maintained with natural cleaners which are not toxic to the environment or occupants.



"Green Roofs" reduce stormwater runoff, reduce heat gain and provide aesthetics for viewing/experiencing by building users.



Solar panels provide an additional energy source for building power needs.

3.3 Elements

Sustainable design elements are extensive. The following list seeks to introduce only a few recommendations which are applicable to Downtown Trenton.

- 1) **Parking and Service Areas:** Minimize stormwater runoff by using pervious pavement materials such as pervious paver systems or pervious concrete. Such systems will allow stormwater to percolate into the soil and not into the public stormwater sewer system.
- 2) **Building Materials:** Utilize materials which are composed of recycled materials or manufactured from rapidly renewable materials, which are made from plants that are typically harvested within a 10 year cycle. Examples include bamboo flooring, linoleum flooring (made of wheat flour and linseed oil) cotton batt insulation and wheatboard cabinetry. Recycled bricks from demolished buildings should also be used for new building construction or restoration projects.
- 3) **Alternative Transportation:** Promote by providing secure bicycle storage and changing/shower facilities for employees.
- 4) **Solar Energy Alternatives:** Install solar panels to supplement the power system for commercial and residential buildings. Utilize prefabricated solar water heaters to provide the majority of the hot water needs for buildings.
- 5) **Stewardship:** New wood products, including construction lumber, should be certified by the Forest Stewardship Council, which promotes responsible forest management.
- 6) **Lighting:** Develop a lighting plan for public spaces which minimizes excessive lighting, which affects night sky viewing and the migratory patterns of birds. Flags which require lighting should be lit from the top shining down on the flags instead of being lit from the ground, projecting light into the sky.
- 7) **Operations:** Use timers on public fountains and lights in non-essential areas to shut off lights after 1:00 a.m., in order to reduce energy consumption.
- 8) **Landscaping:** Plant native landscape materials which can survive on natural rainfall once established.
- 9) **Street Furnishings:** Specify site furnishings such as benches, waste receptacles, bollards, and planters which are made from recycled plastic materials.
- 10) **Water Conservation:** For building exteriors capture rain water runoff from roofs in rain barrels for irrigation use or direct to rain gardens on site. Consider waterless urinals or low flow water closets to limit potable water use inside buildings.



Permeable pavement system installation.



Rain garden with native landscape plants.



Solar water heater.

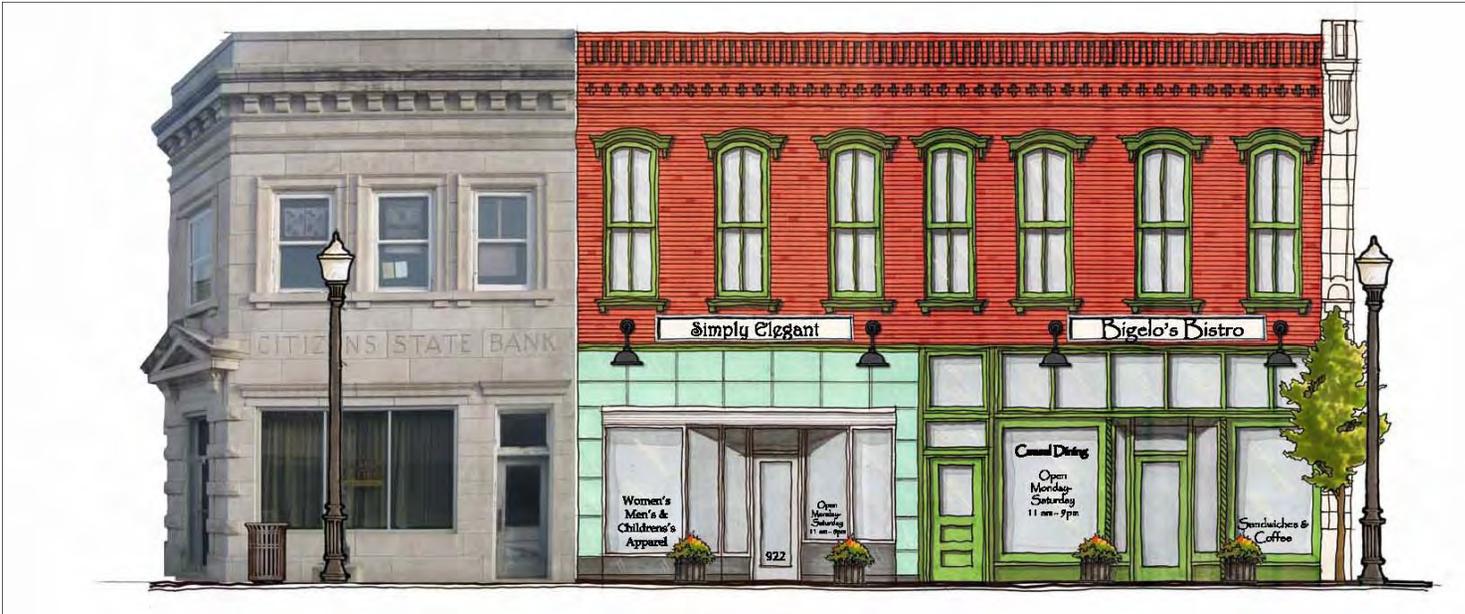
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4.0 BUILDING DESIGN EXAMPLES

4.1 Main Street East



Existing Conditions



- Restore original 2nd floor windows
- Restore original entrances
- Restore 2nd floor entrance
- Restore transom
- Utilize canvas/fabric awnings
- Streetscape of lights, trees & site furnishings

4.2 Main Street



- Remove metal canopies
- Restore original 2nd floor windows
- Restore original entrances & storefront windows
- Use more compatible paint colors
- Utilize canvas/fabric awnings
- Streetscape of lights, trees & site furnishings



Existing Conditions



- Remove wood, metal siding and shingles
- Restore transoms
- Restore original 2nd floor windows
- Restore original entrances & storefront windows
- Use more compatible paint colors
- Utilize canvas/fabric awnings
- Streetscape of lights, trees & site furnishings

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5.0 STREETScape DESIGN GUIDELINES

The term Streetscape typically refers to exterior public spaces located between the building facades on one side of the street and the building facades on the other side of the street. An organized streetscape with combined lighting and way-finding signage is more efficient and user-friendly for visitors to the Downtown.

5.1 Street Improvements

In order to create a friendly pedestrian atmosphere conducive to a civic and retail presence, the vehicular traffic around the square needs to be addressed. The existing streets widths are overly generous and enable a “racetrack mentality” around the square. The width of streets could easily be reduced by 8 to 12 feet and still allow for two lanes of one-way traffic to flow. This would have a traffic calming effect allowing pedestrians to feel much safer crossing the street, as well as, quieting the street activity in consideration of outdoor strolling and dining.

5.2 Design Coordination

A comprehensive design approach to the Downtown will result in a more successful project. A district can display a sense of order and rhythm through the repetition of design elements on buildings and street furnishings. A sense of arrival should exist upon entering the Downtown.

- The district should have well lighted and maintained streets and walks.
- Particular care should be devoted to the main entries and corridors as these will be the first impressions of the downtown area.
- Good, clear signage provides an invitation to enter, navigate downtown and visit attractions.
- Establishing uniformity in streetscape furnishings helps to give a visual cohesiveness to the downtown district.

5.3 Infrastructure

- Curbs should be in good repair and a consistent material along the street. There should be no gaps or areas of uneven elevation along the curb line. At all street intersections there should be ADA compliant curb cuts.
- Poorly working or non-existent storm drains can create an undesirable situation at street intersections when runoff water collects in large pools. This condition makes pedestrian access virtually impossible and must be corrected.
- A public works project should be considered in connection with any other work such as sidewalk, curbs or street pavement to minimize street closings and maximize cost savings through economies of scale.
- Overhead electrical and telephone lines may pose a visual distraction from the overall unity of downtown. Although costly, relocation of overhead utilities should be considered, especially with each new development/redevelopment project.

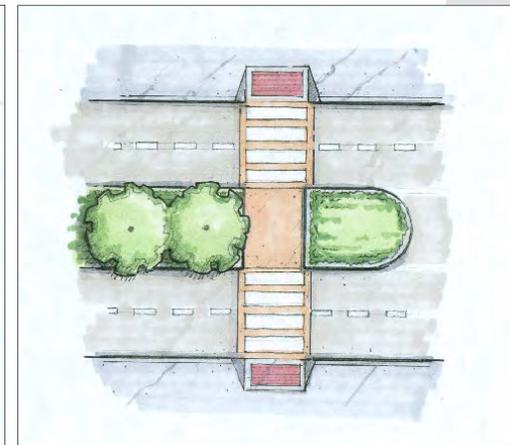
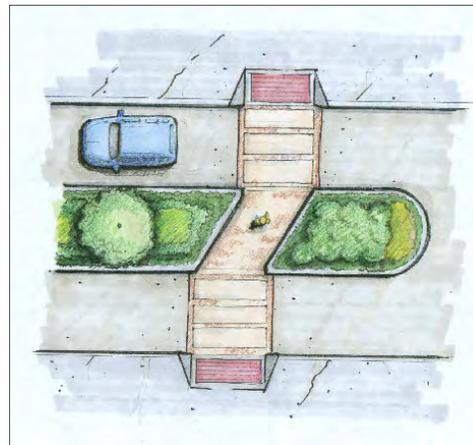
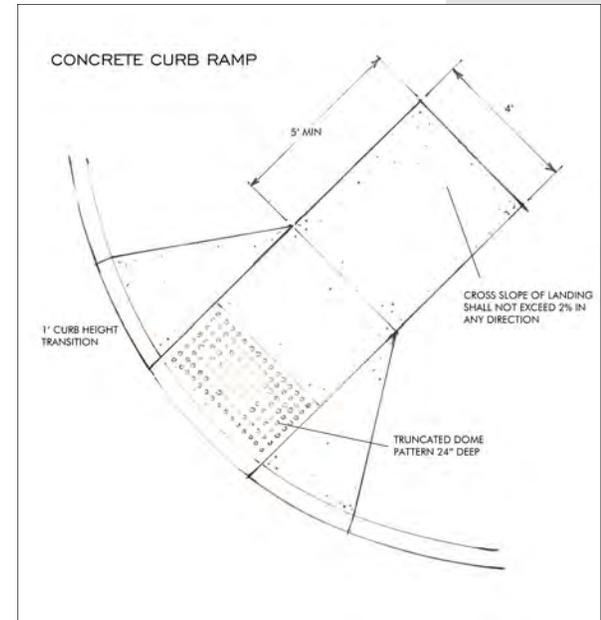
5.4 ADA Accessibility

Accessibility on public sidewalks is required by law, as per the Americans with Disabilities Act. Without the required curb ramps, sidewalk travel in urban areas is dangerous, difficult, and in some cases impossible for people who use wheelchairs, scooters, and other mobility aids. Curb ramps allow people with mobility impairments to have access to the sidewalks and buildings.

When streets and roads are newly built or altered, they must have ramps wherever there are curbs or other barriers to entry from a pedestrian walkway. Likewise, when new sidewalks are built or altered, they must contain curb ramps wherever they intersect with streets or roads.

5.5 Pedestrian Access and Sidewalks

- A clean, clear and well lit pathway for pedestrians should be provided from any remote parking area to the Downtown. This pathway will also need to comply with Federal ADA Accessibility Guidelines.
- Sidewalks should run continuously through an entire block to create a clearly defined pedestrian pathway and minimizing conflicts between people and vehicles.
- All roadway crosswalks should be clearly marked with signage and striping.



Suggestions for sidewalk alignment and designation.

5.6 Fountains

The introduction of fountains could enhance the downtown area by creating mini-plazas. These fountains could be simple bubblers out of the sidewalk that provide a refreshing respite in the summertime. Some simple guidelines for the integration of fountains are as follows:

- Fountain water should be left in its natural state
- Fountains should be on a routine maintenance schedule.
- Fountains should be located in highly visible areas.

5.7 Signs and Banners

Signage should be used to identify, define and promote the downtown area and its activities. Individual building and business signage was discussed in Section 2.9 and wayfinding techniques and components to assist in navigation through the area will be addressed in Section 6.0. Some basic guidelines for effective usage of signage are as follows:

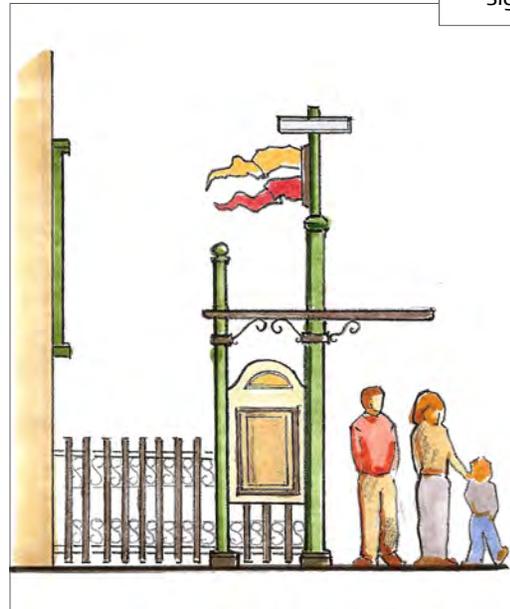
- Street name signs should be chosen and installed that are distinctively different from the street name signs located in the rest of the community. This will reinforce a “feeling of place” in the downtown.
- The style of the street name and street address signs should complement if not match completely. The style, font, and colors of these signs should be easily read.
- The style of the street name and street address signs should complement if not match completely. A ‘historic plaque’ type can provide a very elegant touch. The style, font, and colors of these signs should be easily read.
- Merchants can be encouraged to adopt the same type of sign.
- Murals on buildings should be reviewed by the city to ensure quality of composition and specification.
- Regulation & Directional Signage - In order to reduce visual clutter an effort should be made to combine signage where possible.



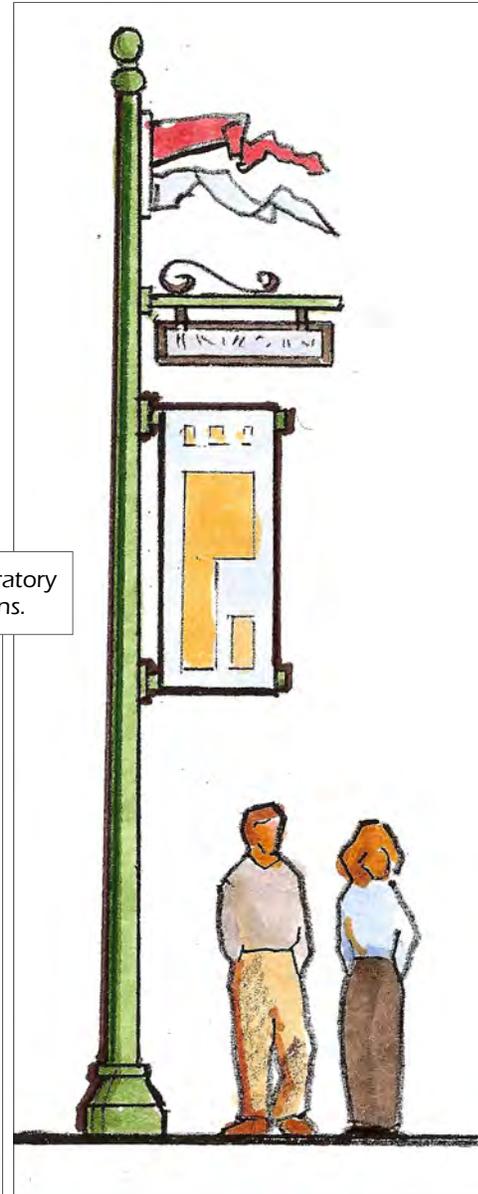
Current Trenton Street Signage



- Hung from the light poles, seasonal banners or decorations approved by the City can create seasonally festive streets.
- Banners can also add a sense of excitement while providing information about upcoming events or festivals.
- The banner brackets used for these banners should be maintained by the City and only for use by the City.
- Balloons, pennants, and other distracting sign novelties should not be allowed in the downtown area.
- Banners can also add a sense of civic identity while providing information about upcoming events or festivals.
- Banners should be well designed and are most effective with a simple design, repeated throughout downtown, minimal lettering, and no sponsor panels.
- The banner brackets used for these banners should be maintained by the City.
- Banners should be changed on a regular schedule and replaced as needed.
- Banners which have been faded or worn due to long term use, should be replaced.



Celebratory
Signs.



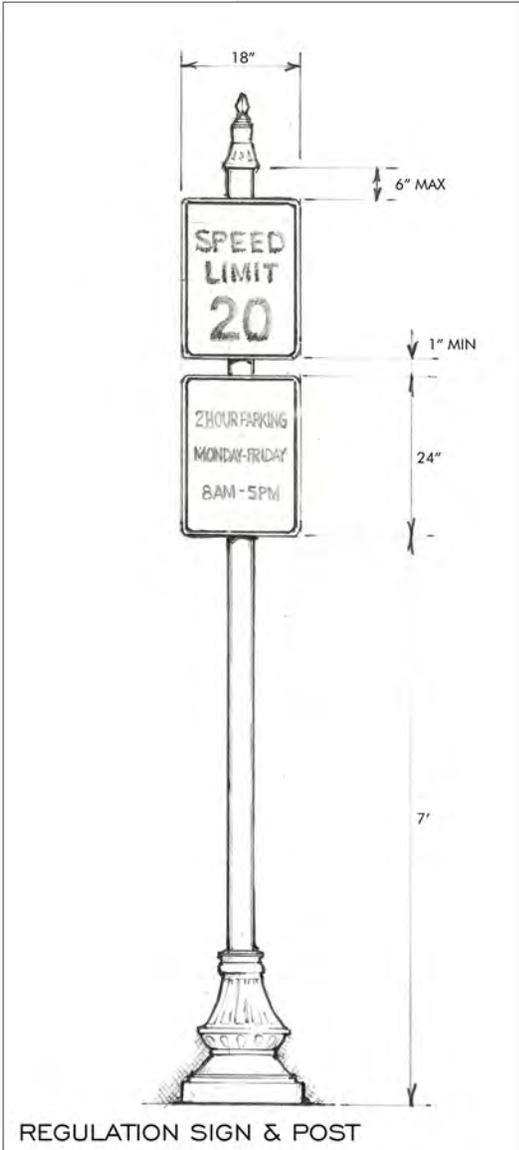
Stop Sign
(St. Charles, Missouri)

5.8 Parking and Service Areas

- Adequate parking to support business and retail tenants must be provided. Street parking will accommodate some but not all of the required parking spaces.
- Well lit and landscaped parking lots on previously vacant property near Downtown is a good solution for additional parking spaces.
- Provide planting buffers at the edges of parking lots or use decorative paving to define the site border.
- Include landscape islands throughout the lot. This will improve the aesthetics as well as minimize the storm water run-off.
- Side or rear locations off the main street are preferred for parking lots.
- A clear and well lit pathway for pedestrians from any parking area in the Downtown Square should be provided.
- The street, alley and sidewalk pavement should be in good condition with no tripping hazards for pedestrians.
- Crosswalks should be clearly marked and free of landscaping and other obstacles to provide a clear view for traffic.
- Care must also be taken that lots are policed in the evening as they will tend to become a security concern from some patrons.



Buffer the edges of parking lots with landscaping



5.9 Lighting

Downtown lighting should provide the minimum illumination required by the Missouri Department of Transportation for the road surface. Streetscape lighting should enhance the pedestrian and nighttime image of Downtown.

- The sidewalks should be provided with pools of light at a higher level of illumination than the roadway.
- Storefront lighting can add to the pedestrian walkway illumination.
- Street lighting should be on pedestrian height poles and project light down onto the sidewalk not out into second floor windows.
- Lighting should be uniform in style, type, height, and brightness throughout the area.
- The antique replica light poles are not preferred unless it can be shown that they previously existed, however, the style used in the current streetscape plans should be continued as a them throughout the downtown.
- Lighting poles with brackets for banners or electrical outlets can effectively display temporary or seasonal City approved decorations.
- An overall lighting design strategy should be developed to ensure appropriate lighting levels.
- The lighting plan should not neglect parking areas, rear entrances, and alleys.

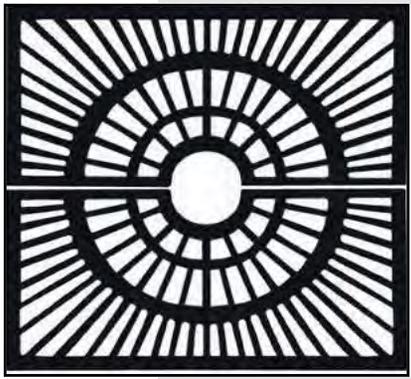


Current Downtown
Trenton Street Lighting

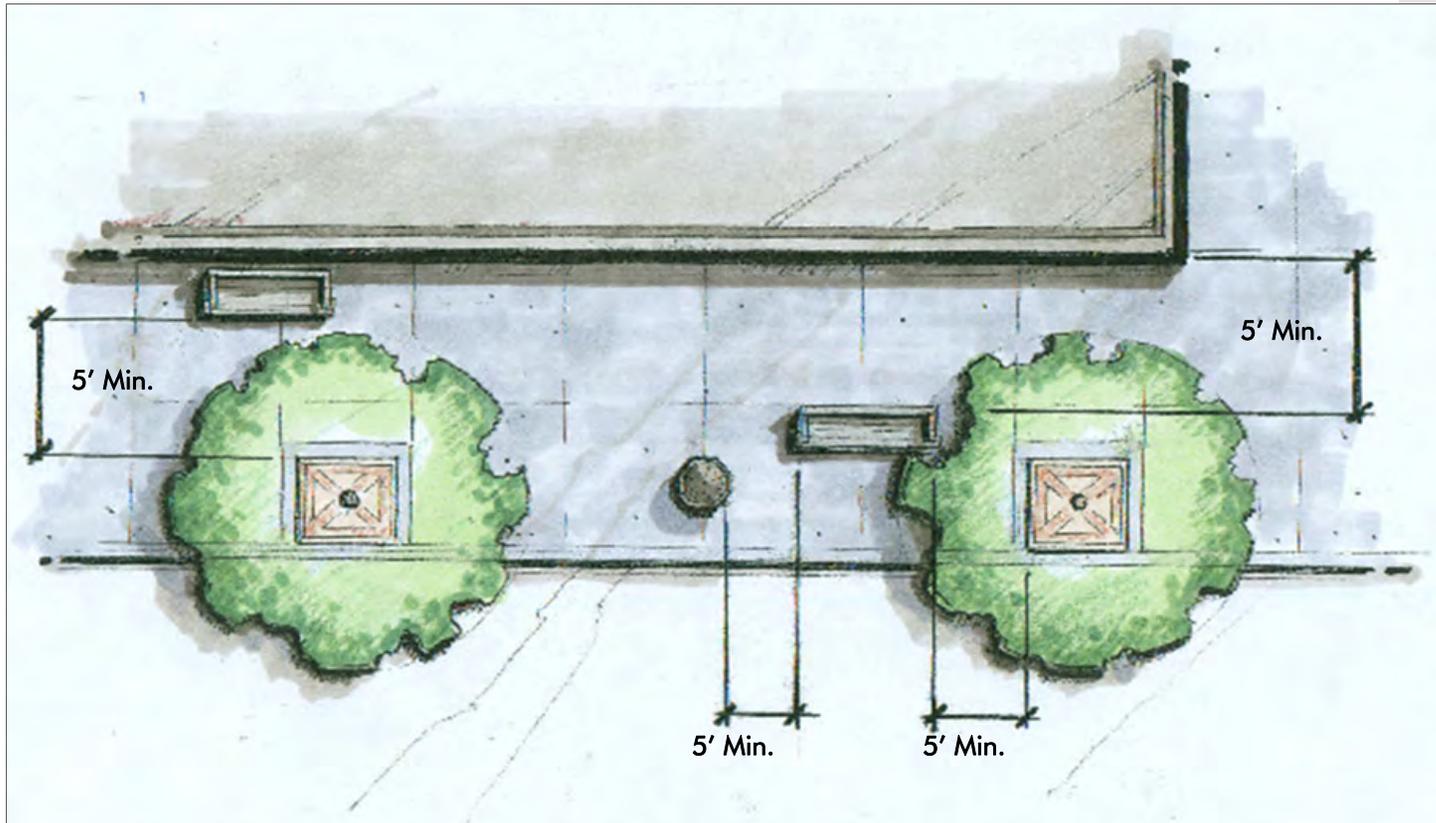


5.10 Site Furnishings

- Benches within the streetscape encourage social interaction which contributes to a successful Downtown.
- Planters and window boxes provide color and can be a volunteer opportunities if maintained by a local club or organization.
- Public art and sculpture can provide an inspirational atmosphere in which people enjoy lingering.
- Trash receptacles provide a place to dispose of potential litter.
- Grouped together, such furnishings will enhance the downtown and provide a gathering place for pedestrians.
- Furnishings should be coordinated with light and sign poles to present a unified look to the streetscape.
- Street furnishing will invite people to walk around and linger in Downtown.



- The minimum distances shown represent suggestions for installation placement. Actual distances may vary due to site conditions.



5.11 Landscaping

- Landscaping zones can also be identified along side streets to complement, but not obstruct building facades.
- If landscaping in front of a business is desired, plants in movable containers should be considered where no available landscape strip is present. Containers should never be placed in the pedestrian pathway but rather immediately adjacent to buildings or curbs.
- Trees work best when planted in groups or islands where they can thrive on larger volumes of soil.
- Trees and shrubs should be of a hardy variety common to the region but specified at a size which will allow a minimum of seven feet of clearance before any lateral branching begins.
- Fruiting berries of a tree's annual cycle should be a maintenance and clean-up concern.
- Trees should also be chosen for their root growth structure. Care should be taken to select varieties with downward growing roots, not lateral growth that will damage surrounding pavement.
- Shrubs should be massed in groupings of five to seven plants with no more than two different species within a planting bed.
- Locate plantings in traditional areas of the site. For residential buildings, plantings along fences, walks, foundations, and at porch edges are good locations.



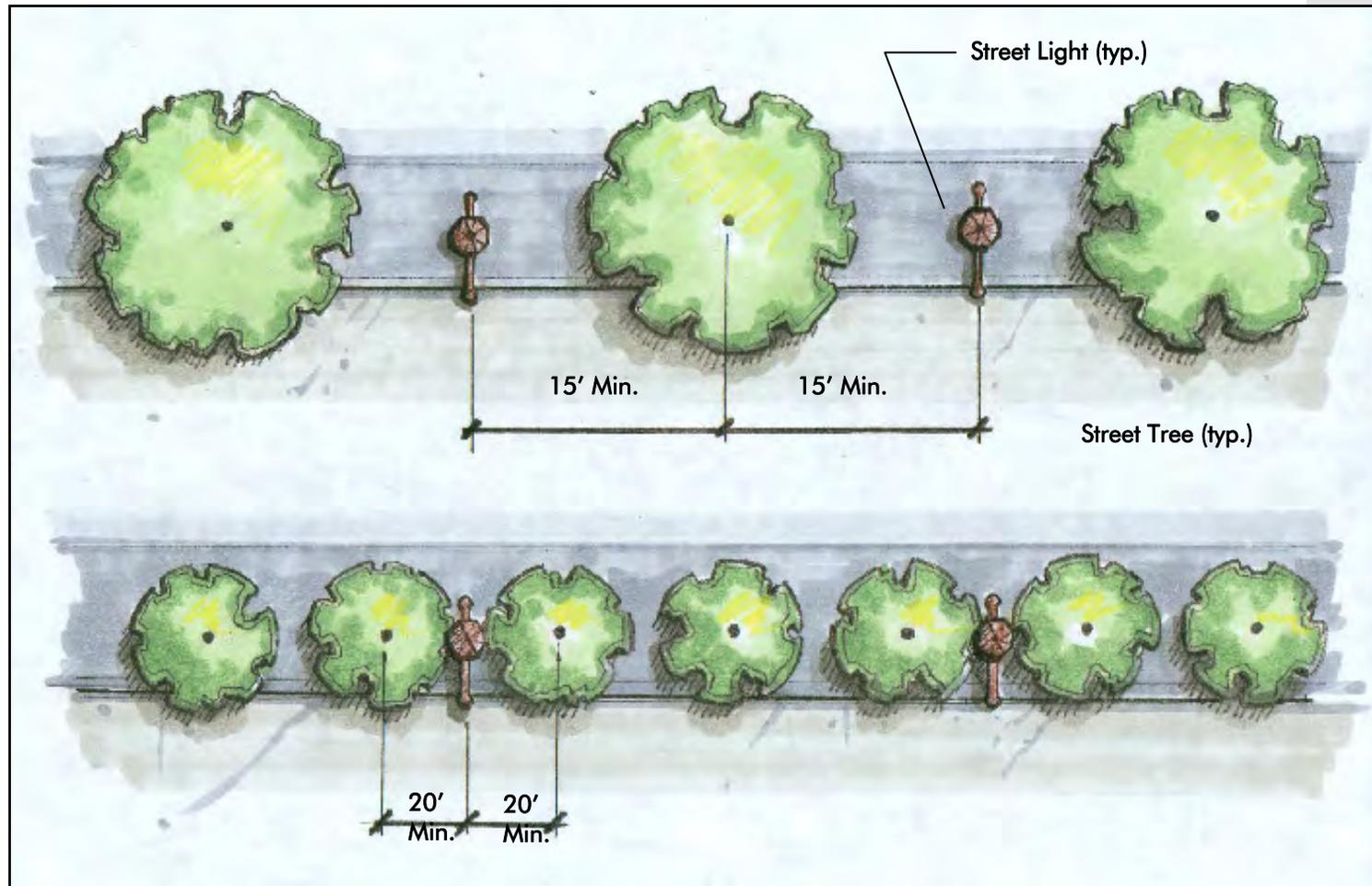
Landscaped Alley
(Maplewood Missouri)



Planters at Store Entrance.
(Washington, Missouri)



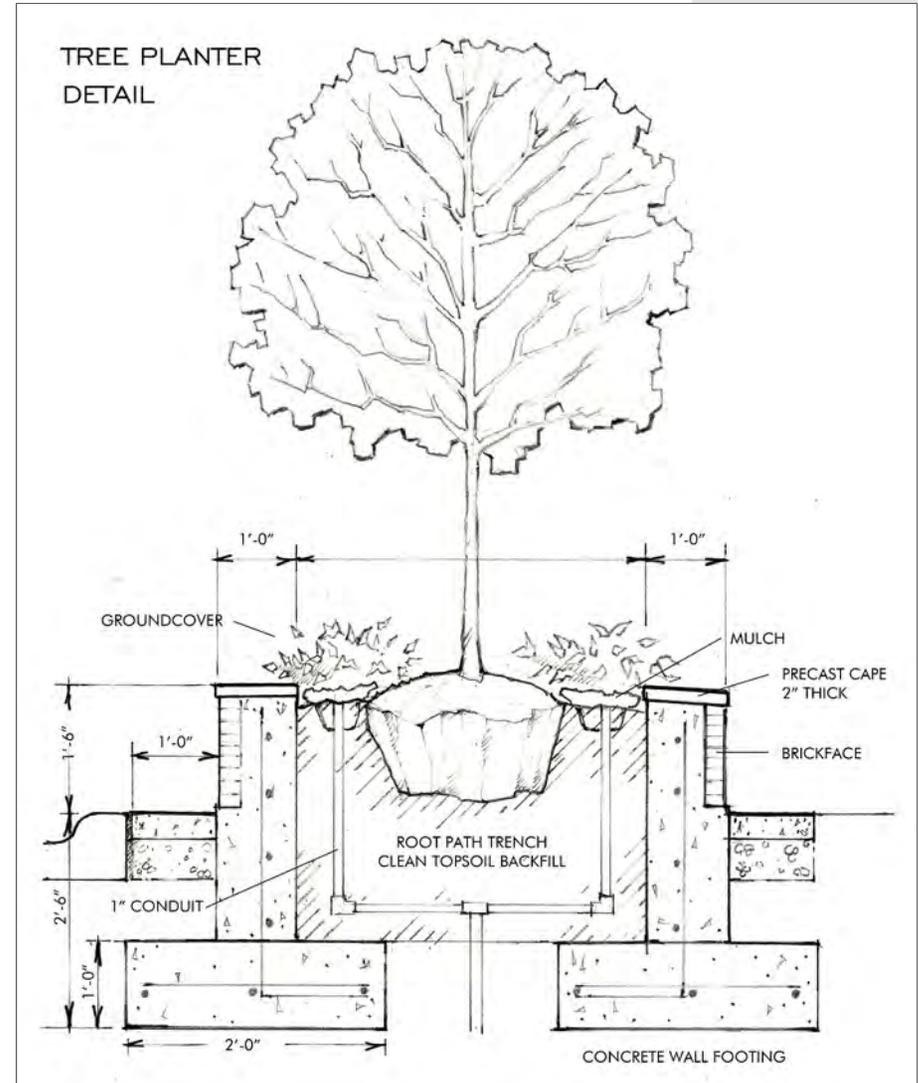
- The minimum distances shown represent suggestions for installation placement. Actual distances may vary due to site conditions.
- Street Trees tend to be one of the most controversial streetscape elements, but they are well worth the trouble. The natural feeling provided by correctly placed, selected, and cared for trees is critical to connecting with pedestrians.



5.12 Tree Planter

Quality design and installation of tree planters will help to ensure the healthy growth of street trees and visually enhance the downtown district. Listed here are some specifications which help to achieve this goal:

- Hot dip galvanized dovetail anchor slots.
- 1"-4" O.C. Max horizontal spacing around perimeter of concrete planter wall for 3/16".
- Galvanized, triangular—shaped wire ties sized to extend within 1" of exterior masonry.
- Street trees tend to be one of the most controversial streetscape elements, but they are well worth the trouble. The natural feeling provided by correctly placed, selected, and cared for trees is critical to connecting with pedestrians.
- Root path trench, backfilled with 70% sand/30% soil mix.
- Jet water in layers to settle and mycorrhizal fungi to soil next to root ball (1 packet per 1" caliper tree).
- Guy wire to be 12 G, double strand and twisted. Hose to be 5/8 reinforced rubber garden hose of one color.
- Extend hose a minimum of 2" beyond any trunks and branches for protection from wire.
- Use metal stakes, 2 per tree, at 180 degrees.



5.13 Rain Gardens

The recommendations for Downtown Trenton also make use of Rain Gardens. Examples of this important method of landscaping are shown on the following page along with general suggestions for installation.

Rain Gardens are low-lying landscape beds designed to collect rainwater from adjacent impervious areas. A properly designed and installed Rain Garden will ease the load of the existing storm sewer system and reduce erosion and pollution. Rain Gardens also help to facilitate filtration and absorption of rainwater back into the ground. Rain Gardens require proper design and plant selection for maximum efficiency and reduced maintenance costs. Careful consideration to these factors will reward Downtown Trenton with significant environmental impacts for a low cost. Even small Rain Gardens can have a large impact on storm water run-off. General recommendations for Rain Gardens include:

- Low maintenance native plants are recommended due to their greater tolerance for climatic and soil conditions, as well as extreme moisture.
- Design Rain Gardens to also provide aesthetic benefits to the streetscape.
- Rain Gardens should be located so that they do not create an obstacle for street cleaning and maintenance vehicles.
- As with any landscape bed, regular weeding and clearing of litter is required.
- Rain Gardens can typically replace existing landscape beds so as to not require a reduction of parking spaces.
- Species that have trouble thriving should be immediately removed and replaced.
- The City should consider the use of porous pavement in nearby parking areas to help reduce the amount of overall standing water impacting Downtown.
- Rain Gardens should be viewed as a treatment for storm water before it enters the water system.
- Access to conventional drainage structures should be maintained to prevent flooding during heavy storm periods.
- Curb inlets should be provided to allow water to enter and exit the Rain Garden if necessary. The curb inlets should be tapered to minimize damage from maintenance vehicles.



Examples of Downtown Rain Gardens from Portland, Oregon.

6.0 WAYFINDING

6.1 Wayfinding Principles

Wayfinding is an indispensable tool for directing travelers to destinations while at the same time creating a positive first impression. The term wayfinding was originally coined by Kevin Lynch in his seminal 1960 book *The Image of the City*. Lynch presented the concept that people use a cognitive map to move through their environment to their destination. Wayfinding develops a system to assist travelers in interpreting the map.

Wayfinding systems have been used for many years in institutions such as colleges and corporate headquarters. As it is commonly recognized today wayfinding helps travelers *find* their way to the destination, in this case Downtown.

In relation to community planning and specifically to downtown Trenton, the goal of the wayfinding system is to make the journey to Downtown as transparent and seamless as possible. Furthermore, by taking a comprehensive approach in developing the wayfinding system it can reinforce the community's unique identity and sense of place. This can be accomplished through four main aspects that can be controlled and enhanced through appropriate design and building codes:

Architecture:

- Visual clues of buildings and other features of a street aid people in knowing their location and the direction of their destination without the use of signage.
- Strong architecture serve as landmarks and orientation points. These points are often destinations as well as starting points and other wayfinding techniques should exploit this aspect.
- Buildings themselves have visual aids that draw our eyes to where we expect an entrance or a shop window to be located.



Wayfinding kiosks can be an easy to spot element of the downtown pedestrian

Sight Lines:

- The motorist will feel most comfortable in maintaining visual contact with his or her destination and will want to make as few direction changes as possible.
- Clean, clear lines down streets at key intersections should be maintained.
- Avoid allowing buildings to encroach or block these lines.
- Repetitive landscaping and furnishings can enhance and draw the eye down these streets, but care must be taken that these items do not obstruct important navigational landmarks.

Lighting:

- Lighting can be used to encourage routes and pathways.
- Warmly lit sidewalks and streets draw the customer onward. Warmly lit storefronts and entrances draw the eye and provide the customer with the information needed to get to the business.
- A repetitive line of lighting can be a very effective navigation tool.
- Poor lighting causes missed information and leaves an unsafe impression.

Signage:

- Uniform signage at important decision points is a critical element of downtown wayfinding.
- Excessive signage will lessen the effectiveness of individual signs. Fewer, easy to read, appropriately placed signs are preferred.



Wayfinding Signage
(Webster Groves, Missouri)

6.2 Wayfinding Components

Wayfinding systems are made up of components that create an arrival sequence to the Downtown. The system consists of common themed signs, of various types that direct travelers to attractions. All too frequently existing wayfinding systems are inadequate. Typical problems with existing wayfinding systems include:

- Lack of accuracy, with arbitrary sign location
- Visual clutter from too many signs and foliage
- Lack of focus in directing traffic to Downtown
- Diffuse allocation of signs, across many “entrances”
- Signs that lack charm, or are standard DOT
- Routes actually direct travelers around Downtown
- Signs are too small and consist of different sizes, colors, and types

A successful wayfinding system is made up of many components that can be utilized in a variety of configurations. Some communities may require only a few of the components or can gradually add components into a complete system. Determining how many of the components a wayfinding system needs, depends upon the size, number and type of street.

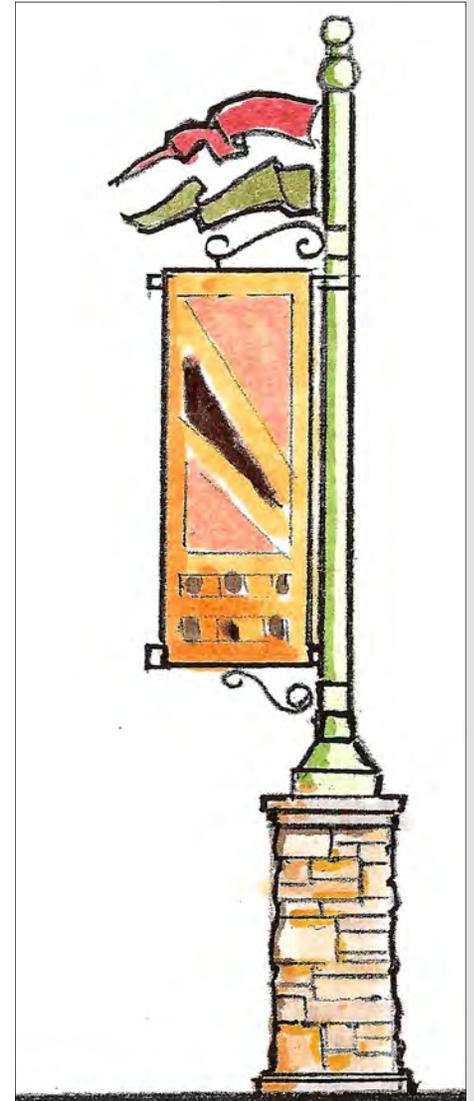
Arterial and local collector streets are typically the location of gateway, historic, historic district, and trailblazing signs. These streets comprise the transportation corridors which focus the traveler into the downtown. They are discussed in detail as follows:

- Historic District Corridor— The central component and primary focus of the streetscape improvements and wayfinding system. This corridor includes the final approach, as well as the main arteries of the historic district. Signage types for this corridor typically include Historical District Gateway and Proximity signs.

There are many different types of transportation corridors, descriptions of three relevant to wayfinding in Downtown Trenton follow:

- Historic District Corridor— The central component and primary focus of the streetscape improvements and wayfinding system. This corridor includes the final approach, as well as the main arteries of the historic district. Signage types for this corridor typically include Historical District Gateway and Proximity signs.

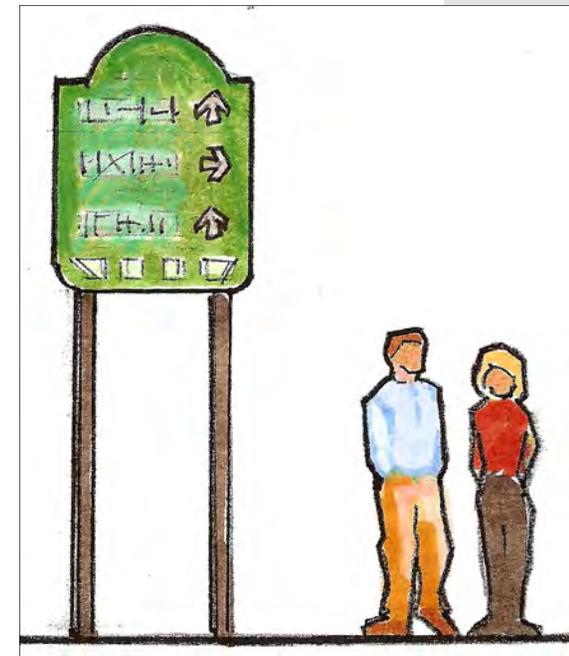
Historic District Gateway Sign



- Residential/Commercial Entry Corridor—The areas immediately surrounding Downtown, a secondary focus for streetscape improvements and primary focus for residential improvement programs. Usually contain a small to moderate amount of commercial businesses, converted residential, and residential. Signage types for this corridor typically include Trailblazing and Proximity signs.
- Commercial Entry Corridor—Typically the beginning of the wayfinding system for travelers. The corridor consists of commercial and institutional uses and should focus on simple design treatments that reflect the scale and traffic. Signage types for this corridor typically include Primary Gateway and Trailblazing signs.

As stated earlier, a successful wayfinding system is made up of many components, including but not limited to these categories of signage:

- Primary Gateway Sign—Serves as the “Welcome” to a visitor, creating the first impression of the community. The sign should be significant, serving as a landmark.
- Trailblazer Sign—Utilitarian purpose combined with unique branding and design elements. Attractions to consider as destinations on Trailblazer Signs include; Downtown, Historic Districts, museums, event areas, government offices, parking, colleges/universities, and visitor centers. Signs should be located at or near a key transportation node.



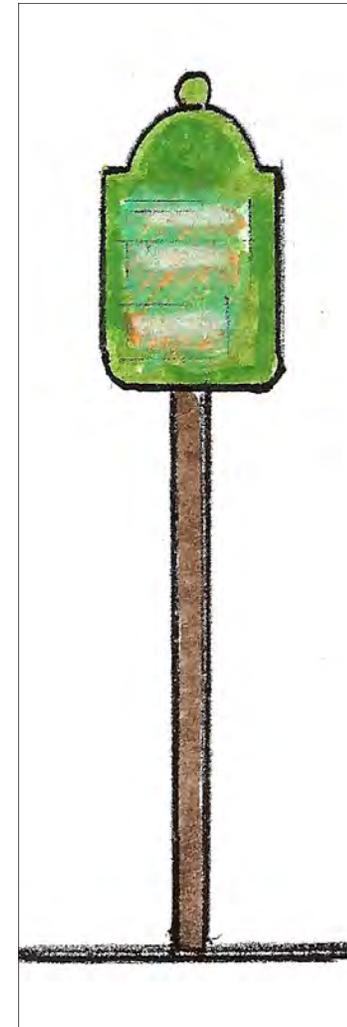
Trailblazer Sign

Primary Gateway Sign



- Historic District Gateway Sign—Creates a boundary for the Historic District, should be used within the Historic District Corridor. These signs should reflect the size, scale and character of the architecture within the district.
- Proximity Signs—In close proximity of the attractions these signs direct visitors to the destination.

All signs and banners included in the wayfinding system should have a simple and uniform design. Above all, the signs need to be brief and easy to read with large type face, appropriate coloring, and adequate character spacing. The wayfinding system signs should be unique and stand out in their surroundings. Sign guidelines should be developed using the Manual of Uniform Traffic Control Devices, published by the Federal Highway Administration (FHWA).



Proximity Sign

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7.0 IMPLEMENTATION

7.1 Recommendations

The first step towards implementing the recommendations contained in this report is to continue to build public support and buy-in. Effectively communicating the benefits of the building and streetscape improvements will help to mitigate misunderstanding and opposition. Explaining the positive impact to the community as a whole, beyond Downtown will help to garner broader community-wide support. And strategically maintaining visibility and positive momentum will keep these recommendations and the overall downtown revitalization program successful.

- Begin the process of adopting the Downtown Design Guidelines pursuant to the Historic Preservation Ordinance.
- Begin the process of developing the wayfinding system. Charge the HPC or a Wayfinding Committee with the project oversight. The committee should meet with major attraction owners/managers, tourism officials, government officials to discuss which attractions should be included in the signage system. (Specifically, those listed on the trailblazer and proximity signs) Next determine the amount of money that is available from those participating groups and identify other mechanisms to fund the improvements. The DREAM Financial Assistance Review and Strategic Plan will address funding in greater detail. Finally, contract with a sign company to develop the appearance, manufacture and installation of the signs.
- The City should pursue Certified Local Government (CLG) status with the Missouri Department of Natural Resources State Historic Preservation Office (SHPO). Attaining CLG status provides the City access to grants for Historic Resource Studies and technical assistance from SHPO.
- Continue the Streetscape Improvements that have begun on Main Street through CDBG funding. Again, additional improvements will be taken into consideration in the development of the Strategic Plan.
- Develop a Building Facade Renovation Loan program, either locally or with assistance from the State of Missouri. These programs can include low interest loans or matching grants and can be used to encourage facade renovation that is consistent with the guidelines of this plan.
- The City should review its code enforcement practices and ordinances to see if adjustments or improvements are necessary. Effective practices will include regulations that:
 - ◊ Address more than just safety concerns. This is an appropriate tool to ensure aesthetics as well.
 - ◊ Secure the condition of the downtown structures for longevity. Quality construction practices must be insisted upon.

- ◇ Promote the conservation and efficient use of resources. “Green” and other energy efficient, innovative building methods should be considered and can be required through codes.
 - ◇ Are firmly enforced. This will demonstrate to future developers that their development risk will be minimized because Trenton will insist on the same quality of structures surrounding their investment property.
 - ◇ Can be flexible if reasonable variations will not compromise quality or other construction aspects. Any governmental process needs to be able to bend for unusual situations.
- Understand that in order to create the resources that will ultimately achieve the goal of a successfully revitalized downtown, it is important to understand that additional taxes, districts, or legislation may be required. The benefits created for downtown by these new mechanisms should far outweigh any new costs to the residents, property owners, or consumers.
 - The Historic Preservation Commission should organize a seminar series aimed at area contractors and downtown property owners concerning appropriate restoration procedures for downtown buildings. The main speaker can be obtained from, or suggested by the State Historic Preservation Office, the City can present these guidelines, and a business, perhaps a bank, could sponsor lunch.
 - The Trenton Downtown Improvement Association should work with the City and Chamber to develop a sponsorship program whereby individuals or businesses can “buy” specific street furnishings for public use. A catalog can be printed that will show the costs of items, which should include installation and a plaque with a message from the sponsor. The City should do all installations and will maintain ownership.
 - The Trenton Downtown Improvement Association, and City should create a formal “Adopt-a-spot” program whereby the burden to maintain landscaping and other maintenance can be adopted by civic groups and clubs throughout the downtown area. The City should supervise, but allow the volunteers freedom to install flora, remove litter, and do other minor repairs and clean-up on a quarterly basis. The City should post a plaque indicating the adopting group at the spot and the Chamber and Downtown Trenton Alliance should recognize the groups in newsletters and other opportunities.

These “first steps” will provide the necessary momentum and understanding necessary to continue the revitalization efforts. Additional, steps and action items will be included in more detail as the DREAM Strategic Plan is formulated and the recommendations that concern complementary issues are addressed.

APPENDIX

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APPENDIX A: SECRETARY OF THE INTERIOR STANDARDS FOR REHABILITATION
(36 CFR Part 67)

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.