

Jackson, Missouri

DOWNTOWN
REVITALIZATION &
ECONOMIC
ASSISTANCE FOR
MISSOURI



BUILDING DESIGN
CONCEPTS

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1.0 INTRODUCTION

1.1 Historic Overview

Jackson is the County Seat of Cape Girardeau County, and is located just west of Interstate 55 in Southeast Missouri; about 110 miles south of St. Louis, Missouri. The City was incorporated in 1814 and was the first community to bear the name of President Andrew Jackson. The settlement began on elevated land between Hubble and Goose creeks. The site was selected to serve as the permanent seat of justice for the Cape Girardeau District. The City was officially laid out in 1815. In 1818 the community of 300 saw the establishment of a federal land office and the first county courthouse. Growth occurred throughout the 1800's, primarily due to agriculture. By 1884, the population of Jackson had grown to 2,100. The current courthouse replaced the original, which burned in 1870. Today the City is home to nearly 14,000 people living in over 5,600 households.

The buildings in the central business district played a significant role in the development and growth of the community. The area around the Cape Girardeau County Courthouse is elevated and is known traditionally as Uptown, rather than Downtown, Jackson.

In the 1950's, American lifestyles changed with the rise of highway construction and affordable automotive travel. Neighborhoods and commercial areas shifted away from the traditional downtown business district. Downtowns, while still the center of much community life, started to experience a loss of commercial viability. Consumers expected easy access and parking for their vehicles. New and modern design was preferred over traditional and old. As a result, by the mid 1970's many American downtowns suffered from a lack of investment and declining importance in the minds of residents. Although Uptown Jackson has retained much of its commercial core, some existing buildings display poor alterations or a lack of new investment.

Historically, commercial façades in Missouri were one, two, or three-stories of masonry with a high level of detail in the upper façade. Masonry details would have included corbelled recessed window panels, stone window sills, and arched window openings. Some of the buildings would have also featured painted pressed metal cornices with rich architectural details such as the building name and year of construction. Façade construction may have incorporated



The Cape Girardeau County Courthouse in Uptown Jackson.

cast iron and pressed metal. Some of the façades in Uptown Jackson demonstrate these historical features. However, there are many simple façades or façades which have been altered significantly that have lost their historic character as their detailed architecture was removed and replaced with inappropriate materials. In some cases, entire buildings have been removed and replaced with new buildings that fail to account for the existing historical context of Uptown or converted into parking lots.

The historical streetscape was generally not spared either; historic light poles and fixtures were removed and replaced with out-of-scale “cobra-head” fixtures and poles. Collectively, the changes to the built environment of downtowns were not positive and contributed to the loss of main street business activity. In Uptown Jackson, a new decorative streetscape has been designed and installed along a block of South High Street. This is a handsome design and the City intends to extend these elements to other areas of Uptown Jackson as funds become available.

While Uptown Jackson has experienced numerous changes throughout history, there are some buildings with historic architectural attributes. There are many buildings of simple design and many that have been altered significantly. This document is a guide to building upon the exciting positive elements of Uptown buildings. The concepts for buildings will include efforts to recapture the charm and historic feel of the past.

1.2 Intent of Concepts

This document represents conceptual planning recommendations for the City of Jackson to consider regarding policy and procedural decisions that affect Uptown buildings. The intent of this document is to help preserve the architectural character and improve the visual appearance of Uptown Jackson. Additionally, some property owners may find inspiration from the illustrations. Included are recommendations to help recapture the characteristics of existing buildings and guide new private development; including in-fill construction. The building design concepts expressed are focused primarily on the commercial areas of the DREAM Study Area.



A view of existing streetscape elements, looking north along South High Street in Uptown Jackson.



Jackson City Hall occupies a previous bank location on the west side of the Courthouse Square.

1.3 Existing Context

Uptown Jackson, Missouri has a typical grid-pattern street layout with the primary access from Interstate 55 provided by State Highway 61 from the north, East Main Street from the east, and State Highway 25 from the south. State Highway 61 traverses Uptown along Hope, East Washington, and North High Streets and carries a significant amount of traffic through the area. There is a traditional courthouse square setting, bounded by Main, Court, Barton, and Washington Streets. However, most of the Uptown commercial core is located on the south and west sides of the square. With the exception of a historic home, new construction occupies the north and east sides of the square. Other commercial areas stretch south from the square along S. High Street, west of the square along W. Main Street, and along S. Hope Street/Highway 61 to the south of the square.

There are several governmental offices in Uptown Jackson. City Hall is located at the intersection of Main and Court Streets; across from the Courthouse. The Jackson Chamber of Commerce is located at the intersection of Main and Hope Streets. Uptown Jackson has a few large churches, schools, banks, and other uses that are located on large lots primarily used for parking. This has resulted in a very open feeling just beyond the core commercial area.

The City and County are both maintaining their investments in Uptown. The City has recently improved a section of South high Street with streetscape features and has plans to upgrade water service in Uptown; Which should allow some property owners to install sprinklers for upper-floor uses. The County is currently undergoing a review of all of its facilities in Jackson.

The following page provides a map of the Uptown Jackson DREAM Boundary.



The Jackson Chamber of Commerce located across from the courthouse in Uptown Jackson.



Other Uptown Jackson Government Buildings include the county facilities of the Sherriff's Office & Justice Center (top left), county Administrative Offices (top right), and the county Archive Center (bottom right), as well as the United States Post Office (bottom left).

1.4 DREAM Boundary Map



2.0 SUSTAINABLE DESIGN

2.1 Introduction

The construction of sites and buildings have a significant impact on the natural environment. The operations of a site and/or a building, can also affect the air, land and soil of the downtown. Sustainable Design measures seek to lessen the impact on the natural and built environment. Such efforts also aim to increase the efficiency at which buildings operate, in regard to energy use and operating costs. The design process is comprehensive and includes site selection, building orientation, and specification of sustainable materials and energy efficient operating systems. These design properties should be considered with private buildings, as well as with the public streetscape.

Uptown Jackson is a built environment of many historic buildings, modern buildings, public streets, parking lots, a few vacant lots and other open space. Sustainable design measures can be applied to existing buildings, new buildings, and streetscape and site improvements. The U. S. Green Building Council (USGBC) has become the leading organization in developing standards for sustainable design for buildings. The USGBC's certification system is known as Leadership in Energy and Environmental Design (LEED). The majority of LEED certified buildings are new construction projects; however the USGBC has also developed standards for the upgrade of existing buildings. Sustainable design is a broad and encompassing initiative which strives to create a built environment which is good for both man and nature. The following recommendations only introduce the basic fundamentals of sustainable design regarding downtown buildings and environments. For additional information beyond these guidelines, resources include:

- USGBC: www.usgbc.org
- Whole Building Design Guide: www.wbdg.org
- American Society for Testing and Materials International (ASTM): ASTM E2432— Standard Guide for General Principles of Sustainability Relative to Buildings: www.astm.Standards.e2432.htm
- Sustainable Sites Initiative: www.sustainablesites.org
- Grow Native: www.grownative.org
- Smart Growth America: www.smartgrowthamerica.org



Permeable paving used for parking areas to allow stormwater to percolate back into the soil.



Interior flooring fabricated from bamboo; a rapidly renewable resource.

2.2 Fundamentals

Sustainable design measures are constantly changing, however there are six fundamental principles which constitute sustainability:

- 1) **Optimal Site Potential:** Consider site selection, building orientation and existing natural features of a site, including topography, drainage, landscape and natural habitats. The rehabilitation and reuse of existing buildings should always be evaluated as an alternative to new construction.
- 2) **Efficient Use of Water:** The design and use of water systems in a building maximize efficiency and recycle water for on-site use when feasible. Site design should seek to reduce storm water run-off from the site. Use Best Management Practices (BMP) to limit storm water run-off, clean storm water, and prevent suspended pollutants from reaching the sewer system.
- 3) **Environmental Materials and Resources:** Utilize building materials with a high percentage of recycled content or contain rapidly renewable materials such as cork flooring, bamboo cabinetry, wool carpeting, etc. Specify or use materials or items which are manufactured within proximity to the project site. Ideally, this proximity is no more than 500 miles.
- 4) **Optimal Energy Use:** The operation of a site and building identify methods for increased energy efficiency or use renewable resources such as solar or geothermal energy.
- 5) **Interior Environmental Quality:** Identify methods for creating a healthy environment, and increasing the comfort of building users. Proper ventilation, use of natural light, and moisture control are a few methods to ensure a quality interior space.
- 6) **Optimal Operations and Maintenance Methods:** Utilize building systems, furnishings and finishes which will have minimal operations and maintenance needs. Such systems will require less energy, less water, and can be maintained with natural cleaners which are non-toxic to the environment or occupants.



"Green Roofs" reduce storm water run-off, reduce heat gain, and provide aesthetic areas for building users.



Solar panels can be used to provide an energy source for lighting, building use, signals, and even automobiles.

2.3 Elements

Sustainable design elements are extensive. The following list seeks to introduce only a few recommendations which are applicable to Uptown Jackson:

- **Parking and Service Areas:** Minimize storm water run-off by using pervious pavement materials such as permeable paver systems or pervious concrete. Such systems will allow storm water to percolate into the soil and not into the public storm water sewer system.
- **Building Materials:** Utilize materials which are composed of recycled materials or manufactured from rapidly renewable materials, which are made from plants that are typically harvested within a 10 year cycle. Examples include: bamboo flooring, linoleum flooring (made of wheat flour and linseed oil), cotton batt insulation, and wheat board cabinetry. Recycled bricks from demolished buildings should also be used for new building construction or restoration projects.
- **Alternative Transportation:** Promote by providing secure bicycle storage and changing/shower facilities for employees.
- **Solar Energy Alternatives:** Install solar panels to supplement the power system for commercial and residential buildings. Utilize prefabricated solar water heaters to provide the majority of the hot water needs for buildings.
- **Stewardship:** New wood products, including construction lumber, should be certified by the Forest Stewardship Council, which promotes responsible forest management.
- **Lighting:** Develop a lighting plan for public spaces which minimizes excessive lighting, which affects night sky viewing and the migratory patterns of birds. Flags which require lighting should be lit from the top shining down on the flags instead of being lit from the ground, projecting light into the sky.
- **Operations:** Use timers on public fountains and lights in non-essential areas to shut off lights after 1:00 a.m., in order to reduce energy consumption.
- **Landscaping:** Plant native landscape materials which can survive on natural rainfall once established.
- **Street Furnishings:** Specify site furnishings such as benches, waste receptacles, bollards, and planters which are made from recycled plastic materials.
- **Water Conservation:** Capture rain water runoff from roofs in rain barrels for irrigation use or direct to rain gardens on site. Inside buildings, consider waterless urinals or low flow water closets to limit potable water use.



Permeable pavement system installation.



Rain garden with native landscape plants.



Solar water heater.

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3.0 BUILDING DESIGN CONCEPTS

3.1 Rehabilitation and Maintenance of Existing Buildings

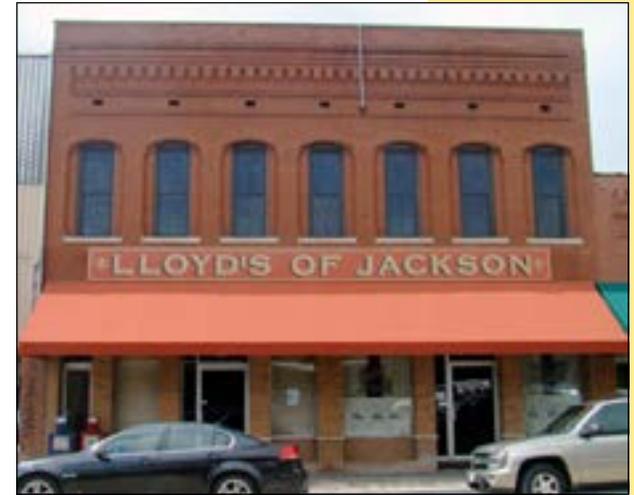
Any original element or material that still exists on historic or non-historic Uptown buildings should be retained. These original components provide historic value that cannot be replaced and are particularly important for storefronts. Prism glass in transom windows or a decorative wooden door with beveled glass are examples of original materials that should be retained.

Replacement of missing architectural elements should be based on accurate duplications of original features. When an entire detail must be reconstructed, the new material should match the original in design, color, texture, and other visual qualities. Where reconstruction of an element is impossible because of a lack of historical evidence, then a new design that relates to the building in general size, scale and material may be considered. Use design elements that reflect the style of the building and complements the style of the surrounding buildings. Often a simplified interpretation of similar features found on nearby buildings is attractive and acceptable.

3.1.1 Rehabilitation, Restoration, and Renovation

The Secretary of the Interior’s Standards for Rehabilitation (which can be found in the Appendix on Page 49) defines rehabilitation as “The act or process of returning a property to a state of utility through repair or alteration which makes possible an efficient contemporary use while preserving those portions or features of the property which are significant to its historical, architectural and cultural values.”

Rehabilitation is distinguished from *restoration*, which is defined as “The act or process of accurately recovering the forms and details of a property and its setting as it appeared at a particular period of time by means of removal of later work or by the replacement of missing earlier work.” There are many lightweight and durable materials available to replicate historic building features such as trim, cornices, medallions, columns, lintels, and other details. However, if research does not yield evidence of a particular design, the replacement element should be simple and complementary to surrounding buildings.



Historic Buildings in Uptown Jackson.

In contrast to rehabilitation and restoration, renovation seeks to modernize a building. Little attention is paid to retaining historically significant architectural features. Renovation, by its very nature, destroys the historic integrity of a building. Once a building is renovated, it may no longer be eligible for programs such as State or Federal Tax Credits or listing on the National Register of Historic Places. As property owners prepare to invest in their buildings, they should seek professional guidance for rehabilitation or construction projects. The Secretary of The Interior's Standards for Rehabilitation and various Preservation Briefs are included on the National Park Service website at www.nps.gov. Property owners interested in applying for Historic Tax Credits should contact the Missouri State Historic Preservation Office at www.dnr.mo.gov/shpo/.

3.1.2 The Benefits of Rehabilitating Buildings

The rehabilitation of buildings will provide several long-term benefits for the property owner and Uptown Jackson. Appropriate rehabilitation of a building adds value. Improvements to the façade and updates to mechanical, electrical, and plumbing systems are investments that help limit maintenance costs. Repairs also address codes and safety regulations and make the building more marketable. A well-maintained building displays a positive image of the occupant, owner, and Uptown Jackson.

Buildings in Uptown demonstrate a range of design character. There are some that show significant architectural character, and some that are very simple and plain. There are also many newly constructed buildings. Collectively all of these buildings contribute to the atmosphere of Uptown. Buildings which have lost their character due to alterations or neglect detract from the Uptown experience. However, restoration to the original design is not always necessary, unless the building is on the National Register of Historic Places. The objective is to maximize elements that enhance the Uptown Jackson experience and minimize detracting elements.

The façade of a building is the first image presented to every potential customer of the business which is located in the building. This image needs to be positive so the visitor will want to enter the building. The rehabilitation of the façade is vital for the survival of the business. An appropriately rehabilitated façade is inviting and sets a high-quality standard for other buildings. Façades combine with public elements to create the outdoor living room of Uptown Jackson. This space is at the core of the community and should be alive with activities and events. As



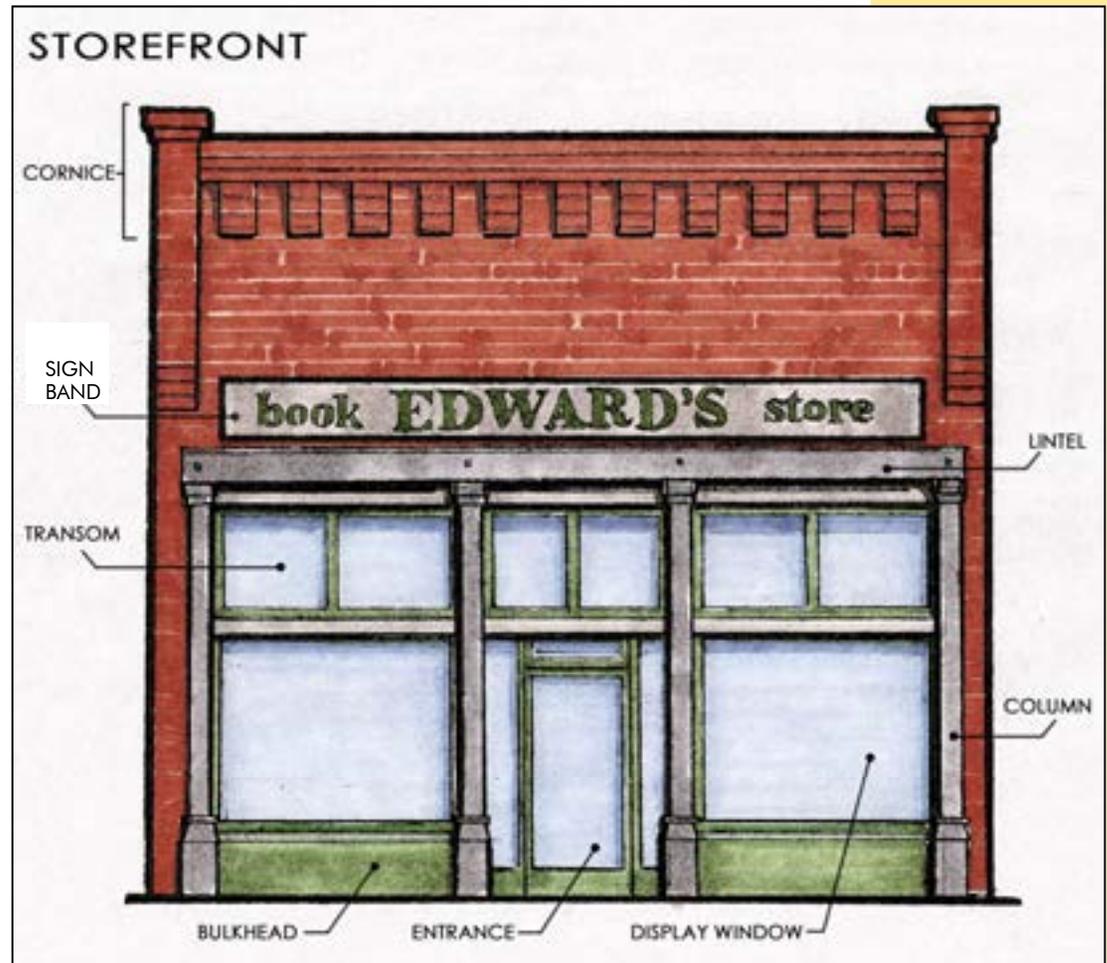
Examples of architecture found in Uptown Jackson.

such, proper maintenance of all elements is essential. Uptown revitalization is an ongoing process that takes time and will evolve, pick-up speed, slow down, be applauded, and be criticized. The one constant should be the desire to adjust Uptown Jackson to an atmosphere that is attractive to residents, businesses, and visitors. This effort begins with preserving existing Uptown buildings.

3.1.3 Building Zones

Improvements to buildings will be discussed in the context of three distinct zones; the **Storefront (Façade)**, the **Upper Façade**, and the **Rear (or Side) Elevation**. The storefront is the most critical element, as it provides the interface between the business and the street. Components of the storefront include some upper façade elements, but the primary focus is on the building façade at the pedestrian level. A storefront zone and some important upper façade elements are shown on the illustration at right and discussed in Section 3.1.15 on Page 24.

The upper façade is found above the pedestrian level on the front of the building. This is an important part of the building façade which should be well-maintained by the property owner. The Upper Façade Zone is discussed in Section 3.1.16 on Page 25. Rear or side elevations of a building may present opportunities to create a pleasing shopping atmosphere. Rear and side elevations are discussed in Section 3.1.17 on Page 25.



3.1.4 Façade Elements

The various elements of a façade must be balanced. Restoring appropriate massing, building and floor heights, proportions, roof lines, materials, and setbacks are critical considerations in rehabilitation. Other aspects such as architectural details, colors, and cornices are more important to the restoration of historic buildings, but can be used effectively in rehabilitation construction. Developing a balance of façade elements can allow a building to be individual in its character, but also a complementary thread woven into the overall fabric and feel of Uptown.

3.1.5 Rhythm

The defined rhythm of Uptown Jackson should be maintained along the street by adhering to uniform lot widths, building widths, and window spacing. Proper repetition of architectural details and orientation to the street, along with vertical elements such as entrances, lighting, and street furnishings can help develop the rhythm of a specific block.

3.1.6 Alterations

Encourage removal of inappropriate alterations or additions that disrupt the fabric of the storefront. It is possible that non-historic and new construction can complement the building fabric that has developed, therefore some alterations may not need to be removed. Decks, structures providing access for people with disabilities, and other “detachable” alterations can be used, but should be as unobtrusive as possible and located on the rear or sides of the building.

As a rule, any and all alterations or additions to the Upper Façade Zone should be removed. Alterations in this zone can significantly change the overall appearance of the building. Signage and building lighting should be carefully considered, as these elements are generally restricted to the storefront. Avoid removing or altering any historic material or significant architectural features. Care should be taken during the removal process to avoid damage to original elements hidden behind the alterations. When disassembly of a historic element is necessary, use methods that minimize damage to the original materials.

The following page depicts illustrations of buildings in various states of alteration.



This vacant building and blank Uptown Jackson façade disrupts the rhythm of the street.



Original Design.



Minor Alterations.



Storefront is Lost.

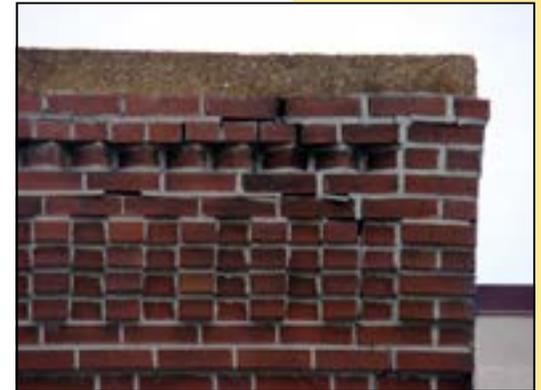


Significant Alterations.

3.1.7 Masonry

Masonry is typically the preferred façade material for Uptown. Most existing construction will utilize some masonry. In most instances, metal and wood siding is not a suitable choice for Uptown building façades. These types of siding provide harsh lines, stark contrast, and no relief or warmth to the buildings. If wood was the historic material, it may be restored. Effective recommendations related to the treatment of masonry façades include:

- Maintain the original color and texture of masonry walls. Stucco or paint should not be removed if this was the historic covering and only applied if it was the historic covering. If painted or stained masonry is going to be returned to its original state, a minimally intrusive removal process should be used.
- Clean masonry and mortar only when necessary to limit deterioration or to remove heavy soiling. Avoid techniques such as sandblasting, caustic solutions, and high-pressure water blasting, as they may erode the surface and accelerate deterioration.
- Masonry restoration, particularly on historic structures, should be done by professionals.
- Damaged bricks and stone should be repaired or replaced with similar color, texture, and style of masonry products. Re-point masonry walls when there is evidence of disintegrating mortar, cracks in mortar joints, loose brick, or moisture retention in the walls. New mortar should duplicate the old mortar in composition, bonding strength, profile, color, and texture. Do not use cement mortar in brick construction as it is too hard and will result in cracking of the softer brick material.
- Portland cement as a patch for masonry is unacceptable.
- If a historic façade has been covered with metal or wood siding, it should be removed. Exposing the underlying brick masonry will help re-establish the character of the building and contribute to the visual continuity of the block. Metal cladding or siding can hide interesting details and may be easy to remove. If, after removing the covering, portions of the façade must be replaced, use a material similar to the original façade in color and texture.
- Regular maintenance of foundations is required to prevent structural and water damage. Any water-proofing methods for foundations should be applied beneath the finished grade or inside the structure.



An example of poorly maintained masonry in Uptown Jackson.



Tuck Pointing with an Appropriate Mortar Material.

3.1.8 Windows

Windows are a major feature of the building exterior and vary with each building style. Windows have a proportional relationship to the structure as a whole, and they also have a decorative function. The shape and glazing pattern of windows on a building may be one of the principle characteristics in identifying its historic period and style. Thus, if original windows are removed and replaced with incompatible modern windows, the basic character of the building will be altered substantially. Recommendations for the treatment of windows in Uptown buildings include:

- The number, size, and locations of existing window openings should be retained. In general, do not “block-in” windows to reduce the size of the window opening or to fit stock window sizes. New window openings should not be added on elevations that are subject to view from a public street. If the original window still exists, it should be restored.
- Retain and repair window frames, sash, decorative glass, panes, sills, heads, hoodmolds, moldings, and exterior shutters and blinds. Replacement window parts should duplicate the material and design of the original part. Reuse parts in their original configuration if disassembly is required.
- If duplication of the original window or window part is not technically or economically feasible, a simplified version of the original may be acceptable as long as it has the same size and proportion. Modern window types that are inappropriate in commercial buildings include large picture windows, casements, and bow windows, unless they are original to the structure.
- Do not install shutters on windows that did not originally have shutters. The shutter should measure the full height of the window and half its width, so as to cover the entire window when closed. Fasten shutter to the window frame and not the siding.
- Inappropriate modern window features such as plastic and metal awnings or fake, non-operable, synthetic shutters and blinds, distract from the historic appearance of a building and should be avoided.
- Storm windows should have wooden frames, or if metal, should be anodized or painted to blend with the trim and be installed on the interior, rather than exterior.



- Upper floor windows are typically vertically-oriented and uniformly spaced across the building front. These upper façade windows help establish rhythm and are an important unifying feature of Uptown.
- Masonry infill, wood panels, or mismatched windows should be removed and replaced with appropriate materials.
- If the ceiling is lower than the window head, pull the ceiling back from the window to keep the original height at the interior window.
- Use design elements that reflect the building's style. A simplified interpretation of similar features on comparable buildings may be considered.
- Encourage window shades or curtains in colors that coordinate with accent trim.
- Property owners should be encouraged to keep interior coverings, shades, or blinds closed on upper floor windows. Vacant, ground-floor spaces should also have displays or other materials to reduce the visual impact that a vacant building can have on Uptown.



While these upper floor windows have been reduced to fit a stock-sized window, the treatment is subtle and still helps to establish rhythm along this block in Uptown Jackson.

3.1.9 Architectural Details

While there are some intricate architectural details found on Uptown Jackson buildings, much of the architecture is concealed behind inappropriate materials. The existing details are the signatures of the builders and designers and represent a connection to Jackson's past. In typical modern construction, such details are omitted. Restoration of features such as cornices, medallions, ornamental glass, brackets, and brick patterns are often forgone in renovation work for covering that hides any hint of the heritage of the building. Exposing and restoring these elements develops a unique atmosphere that only Uptown can offer. Suggestions for treatment of these details include:

- Replacement of missing architectural elements should be based on accurate duplications of original features. In some cases, an entire element must be reconstructed. In the event that complete replacement is necessary, the new material should match the original in design, color, texture, and other visual qualities. Photographic evidence is a good source for research.

- Awning colors should coordinate with the palette for the entire building and complement any overall scheme established for Uptown buildings. Awnings on upper windows should match the storefront awning in color and material.
- Awning signage or lettering should not be allowed where another flush-mounted sign exists and may be limited to the vertical front flap of the storefront awning only; not the upper-floor awnings. Signboards under the awning to assist pedestrians, should be of a limited, uniform size and complement the awning and building.
- Awnings will wear and replacement should be acknowledged as an operating cost of doing business. Awnings can be changed every few years for a fresh look.

3.1.11 Entrances

An entrance is an important feature that affects all building tenants and beckons the visitor on the street. The primary building entrance should be obvious, but side and rear entrances should also be well-defined and attractive. Easily identified entrances assist in wayfinding for pedestrians and motorists. Suggestions for enhancing entrances include:

- Recessed entries allow customers to exit the main pedestrian flow on the sidewalk as they are being invited into a store. Maintain recessed entrances in good condition where they exist. These areas also provide protection from the weather, and the repeated rhythm of shade along the street helps to identify the entrance. If the original recessed entry has been removed, consider reestablishing it in the same location.
- Side and rear entries should be visible from nearby parking areas and provide a clear, well-lighted pathway for access. Side and rear entrances are discussed more in Section 3.1.17 on Page 25.
- At least one public entrance to the building is required to be compliant with the Americans with Disabilities Act Accessibility Guidelines (ADAAG).
- Avoid doors with raised thresholds and consider using an accent color on the door.
- If there is only one business in the building, center the business signage over the main entrance.



This building in Uptown Jackson provides a mix of inappropriate façade materials, poorly treated windows, a residential entry door, and an imposing shingle canopy.

- If the cornice is missing, a similar cornice of like size and scale should be installed. If no evidence exists as to form and detail, the reconstructed cornice should be as simple and non-intrusive as possible. A cornice is an important building element that leaves a very obvious absence if it is missing. If the cornice is intact it should be repaired and maintained.
- Where architectural details have been removed, refer to historic photos for details to use as patterns for new designs. Where exact reconstruction of details is not feasible, consider a simplified interpretation of the original, in which its major forms and lines are retained.

3.1.10 Awnings and Canopies

Awnings used in the Storefront Zone provide shade for merchandise, shelter for pedestrians, and bring a colorful accent to the building façade that can be changed frequently and without great expense. Canopies are more permanent structures built onto the front of the building and may include lighting for the sidewalk in front of the store. Upper window awnings provide shade and help establish rhythm along the street. The following suggestions enhance appropriate use of awnings and canopies:

- Mount the top edge to align with the top of the transom or the framing between the transom and the main display window. This will help strengthen the visual continuity of storefronts.
- Awnings should be installed over the original storefront opening and not extend beyond. Awnings over the building entrance will help customers navigate.
- Aluminum, steel, and wood shingle canopies are typically not original building material elements and tend to detract from the overall appeal of building façades. Some Uptown Jackson buildings have such canopies. The property owner should consider removing these types of canopies to expose and repair transom windows, the sign band, and any architectural details. If they are to be kept, they should be well-maintained and as unobtrusive as possible.
- Roll-up awnings were common on historic storefronts and can be restored with modern fabric. If a roll-up awning is not operable, the awning should follow the shape of an operable awning.



Examples of awnings and canopies found in Uptown Jackson.

3.1.12 Building Lighting

Buildings should be interesting to view at night, as well as by day. A well-lit façade or rear elevation creates a positive impression about Uptown. This lighting also can improve Uptown safety and security. Suggestions to enhance the building lighting in Uptown Jackson include:

- Use lighting as a subtle and complementary design element to draw attention to the building. Lighting that emphasizes architecture in the upper façade and rear elevation can provide attractive highlights.
- Warm-colored lighting of the storefront should accent the entrance, flush-mounted signage, and any architectural details.
- The light fixture should be simple, non-intrusive, and in a style that matches the period of the building. Neon and cool fluorescent lights should be avoided and well as other lighting that is too intense and overpowering of the building.
- Building lighting used on rear elevations should be similar to the lighting on the façade. This lighting should also provide illumination at the entry door and along the pedestrian path from the parking area.
- Building lighting should also incorporate sustainable design concepts as noted in Section 2.0 on Page 5.

3.1.13 Business Signage

For a successful business environment, each Uptown merchant must have its own identity, but at the same time reinforce and complement the overall Uptown design. Effective signage identifies the business without detracting from the architecture of the building and distracting the pedestrian. Sign types and their locations should be kept simple and consistent for ease of public awareness. Signage should be restricted to the Storefront Zone or Rear Elevation and generally not allowed on the Upper Façade.

Business signage in Uptown Jackson consists of a variety of signs, with several plastic, back-lit “box”-type signs. There are a few positive examples of attractive flush-mounted signs. However there are also several oversized and poor installations where the signage is haphazard. Recommendations to enhance the business signage in Uptown Jackson include:



Use lighting to highlight building, signage & entrances (Washington Missouri at top left, St. Charles, Missouri at top right and bottom).

—General Business Signage Design Issues

- A business sign should be a part of the building design and not hide architectural features or details. Flush-mounted signs that fit within the outer edges of the façade and in the sign band help reinforce the horizontal lines along the street.
- The sign should be of an appropriate scale for the building and street. Large signs are not needed as downtown signage is oriented to the pedestrian, not the motorist.
- In general, for all signs, the material and color should complement other building and façade materials. Clashing colors and inconsistent material types can cause visual distress in the viewer or customer.
- Signs should be well-designed and professional with a simple message. The name and type of business should be sufficient. A logo or symbol of the type of business could also be included.
- Signs should be constructed of high-quality materials to withstand extreme weather conditions. Good craftsmanship results in longer service time and conveys a strong image, while a deteriorating sign presents a poor image.
- Encourage innovative sign design to reinforce uniqueness. Mass-produced signs, such as rectangular plastic “box”-type signs with internal lighting, fail to make a lasting impression in the mind of the visitor.
- Illuminate signs in such a way to enhance the overall composition of the façade. External lighting cast from period-style, non-intrusive fixtures is preferable to internal lighting.
- Rooftop, blade, pole, neon, electronic message boards, flashing or otherwise moving or animated signs, signs playing music or sounds, and billboard signage should be severely restricted in a downtown environment, even if allowed. Abandoned signs should be removed.
- Place signs near the business entrance to guide a customer’s eyes to the door.
- Where several businesses share a building, coordinate the signs by grouping them onto a directory panel. Use similar forms or backgrounds that tie together visually and make each sign easier to read.



Examples of excessive signage in Uptown Jackson.

—Style and Location of Signs

Projecting Signs: Encourage projecting wall signs that give the name, logo, or image of the product being sold. Projecting signs should have the following characteristics:

- **Material:** Unframed painted wood or metal panels hung from painted wall brackets. Wood signs with carved or sandblasted, and painted designs are also appropriate.
- **Lighting:** Non-illuminated or externally lit fixtures are preferred.
- **Location:** The bottom of projecting signs should be no lower than eight feet above the sidewalk and the top of the sign should be below the building parapet or the second floor windows. Locate projecting signs along the first-floor level of the façade.
- **Message:** The use of symbols instead of text on projecting signs can help a customer more easily identify the store.

Wall Signs: These signs are painted on the brick wall or a panel above the storefront windows or on the side of the building. The old faded signs painted directly on the brick are commonly called “ghost signs” and should be preserved as historical building elements. There is some evidence of ghost signs in Uptown Jackson, and it is possible that some of these signs have been hidden by the installation of inappropriate building materials.

Wall signs should have the following characteristics:

- **Material:** Painted directly on the building brick or on wood or metal panels. The signs painted on brick typically had white lettering on black backgrounds. Signs that advertised a product, such as Coca-Cola, were multi-colored.
- **Lighting:** Non-illuminated or externally lit with appropriate fixtures is preferred.
- **Location:** Many of these signs were located in recessed brick panels above the storefront windows. Research historic photos for the locations of original signs that may still exist beneath old paint or panels. Wall signs should not be located above the building parapet.



Examples of ghost signs observed in Uptown Jackson.

Window Signs: Painted or foiled lettering on the display window glass often advertised a doctor, dentist, or attorney. Signs of his type should have the following characteristics:

- Material: Painted lettering, or gold or silver foil lettering. Lettering colors should complement the paint scheme of the building.
- Lighting: Natural lighting or the inside lights of the building are sufficient.
- Location: On the glass of the entry door or the display window at eye level. These signs are fairly simple and should not dominate the window to allow an unobstructed view of interior store merchandise. These signs can also be used in upper-floor windows to identify upper-floor businesses.

Awning and Canopy Signs: Lettering on awnings or canopies should only be used where there is no flush-mounted sign. However, a simple logo or symbol can help identify the business. These signs should have the following characteristics:

- Material: Lettering on awning fabric or painted on wood or metal panels.
- Location: Six to eight inch high lettering on the front valence of a fabric awning or a hung sign panel. These panels should not exceed 12 inches high.

Sidewalk Signs: Symbols, such as barber poles, were often set on the sidewalk to attract customers. If sidewalk signs are permitted, they can effectively advertise daily specials and be important to Uptown businesses. Uptown sidewalk signs should have the following characteristics:

- Material: Painted wood or metal. Merchants should avoid stock displays that also advertise the names of products such as beverages. A well-maintained, high-quality sign of this type is important.
- Lighting: Natural illumination. Do not internally illuminate.
- Location: At the edge of the sidewalk or building face. Maintenance of the sidewalk thoroughfare is important, and these signs should not obstruct any pedestrians. If the right-of-way is not large enough, sidewalk signs should be avoided.



Examples of existing business signage observed in Uptown Jackson.

—Number and Area of Signs

Principal Business Signs: Signs to identify the name and nature of the business should be the primary sign type and limited to two per building storefront. Signage could be any of the types discussed above.

Auxiliary Signs: Additionally, each business could have a sign stating hours of business and an “open” sign. These should be limited to two square feet each. Other indoor directional signage and brand information should not be placed as another outdoor sign.

Side Street Directories: The side walls of corner buildings can be used for wayfinding directions to parking and other attractions. These signs should be of uniform size and design. A suggested sign panel size would be 12 inches high by 48 inches long with 6 inch high lettering.

Sign Area: The aggregate area of all signs for a specific Uptown business should not exceed 100 square feet, except buildings with a front wall area of 1,000 square feet or more, where the aggregate sign area should not exceed approximately 10% of the front wall area.

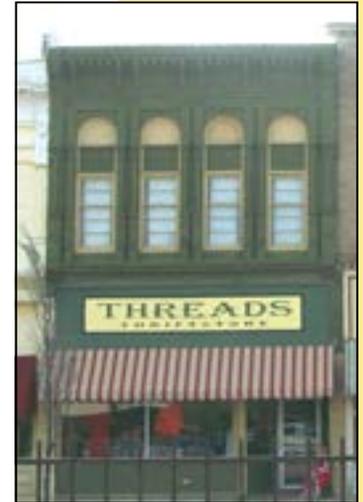
Lettering Size: The size of lettering for any sign type should not exceed 12 inches high, except for the first letter of each word, which should not exceed 18 inches high.

Lettering Style: Because the historic signs spanned a long time period, a variety of lettering styles existed together. Lettering style for new signs could be either simple block letters or more elaborate lettering styles. Each business should express their individuality in their sign design.

3.1.14 Building Color

Color can enhance the details and patterns of a building’s façade. The most effective and economical paint schemes often start with the natural colors of the building materials themselves, such as the red of many brick buildings. Color techniques for Uptown buildings include:

- Use only one base color for the majority of the background wall surface, but use a different color for accents. Avoid painting a building entirely one color.
- Base colors should be muted earth tones or pastels that will hold their color well. Owners should consider color stability when choosing paints.
- Window frames, sills, moldings, details, and cornices are potential architectural elements to accent with a different color. Signs, awnings, and entrance doors can also be accented.
- Use bright colors only in small amounts. Place them at the ground-floor level to direct the customer’s eyes to the business.



Downtown façades with attractive color schemes (Chillicothe, Missouri).

3.1.15 Storefront Zone (see Page 11 for components)

By applying the design concepts found in this report to the Storefront Zone, the overall image of Uptown Jackson buildings will be improved. Generally, all architectural details, spandrel panels, and intricate brickwork should be restored and maintained, and in some cases, accented. Suggestions for the treatment of primary storefront elements, include:

- As noted, the main entrance should be recessed to emphasize the entryway. A recessed entry, when combined with display windows, can create a unique presentation area for products. Recessed entries should be creatively lighted during evening hours.
- The main entrance door should provide a view into the building and a sense of openness. Solid doors and clutter such as flyers and posters on the entry door should be avoided.
- Lintels and columns help frame the entrance to the building and should be restored and maintained. Often these features are hidden behind an inappropriate façade covering.
- Large display windows should be preserved if present and reestablished if they have been removed. These windows are important to the overall balance and scale to the façade. They also provide important interior lighting and connect the stores products with potential customers.
- The bulkhead serves as the base for the display window and should be in good condition to protect the window. Additionally, storage space can be provided, under the display area and behind the bulkhead.
- Framing of the windows should be of a material similar to the original framing, or of a material complementary to the historic profile.
- Clear, insulated glass with a 'Low-E' coating is an appropriate window. Tinted or reflective glazing, or interior films should be avoided.
- Transoms are typically a band of glass panels located above the entrance and display windows. This feature is usually at the same level on an entire block of buildings. Maintaining transoms will reinforce the horizontal lines on a street frontage.
- Transoms should be uncovered and restored. If the ceiling on the interior of the building has been lowered, pull the ceiling back away from the window to maintain the original ceiling height.
- Transom glass may be different from the display window, but it should complement all façade elements.



A well-maintained storefront in Uptown Jackson.

- Some transoms originally had hinged windows to provide building circulation. The building owner may wish to consider restoration of this feature. However, a hinged transom's ability to assist with air conditioning and/or heating expenses is limited by modern, efficient building systems.
- Window air conditioning units should never be installed in the front of a building, particularly not over a main entrance. These units should be restricted to the rear elevation.

3.1.16 Upper Façade

The Upper Façade zone is often neglected, but this zone should adhere to the same concepts as previously noted. The impression of a building and business is formed by the overall image of the property. Customers notice the condition of the upper façade, even though they may never set foot in the upper floor of the building. The Upper Façade can present a significant amount of architectural style and detail. Elements such as windows, brackets, cornices, and medallions help showcase the character of the building. Uptown Jackson has some buildings that display open, empty upper windows. These property owners should be encouraged to install simple window treatments to reduce the unsafe and vacant feeling these buildings may present. An attractive building will not only appeal to customers, but to potential tenants.



An example of a dangerous window air conditioner unit installation in Uptown Jackson.

3.1.17 Rear (or Side) Elevation

The rear elevation typically faces an alley and provides access for deliveries and maintenance. In some cases, customer parking and a rear entrance to the building is provided. Attention to the appearance of the rear elevation can be extremely important to the quality of the customers' experience. The building and business image can likely be improved here, while accommodating service functions.

In addition to previously mentioned recommendations for upper-floor building elements and entrances, suggestions for other rear or side elevation components include:

- A customer entry through a side or rear door creates an access no longer just for service and should be just as inviting as the primary entrance. Customers might also develop a sense of loyalty or "special access" by using this building entry. The business can build on this loyalty to enhance the customer's experience.
- An awning should be considered for a rear entrance. Also, building elements such as gutters, downspouts, service boxes, conduit, fencing, and screens should be in good repair.

- Rear fixtures such as signage, fencing, lighting, and awnings should use materials and colors that coordinate with the building front so customers will learn to associate any rear or side entrances with a particular business. Chain-link fencing and barbed-wire should be strictly avoided in Uptown.
- Rear exit stairs, elevators, and parking lots can greatly enhance the marketability of upper-floor space.
- Trash containers should be placed in an enclosure or behind a screen that harmonizes with the surrounding buildings in scale and color. Wood, masonry, lattice, or hedges can all be effective screening methods. Landscaping can also screen ground-level utility units. A color scheme that complements the building should be used on all screening.
- Ancillary structures should match the surrounding buildings in style, scale, and color scheme. Ancillary structures should not be used as residential units.
- Where it is impractical or costly to alter a primary building entrance to meet accessibility guidelines, a side or rear elevation entrance may be adjusted.
- Often a rear elevation is neglected in maintenance, but severe deterioration of this side of a building can be disastrous. Historic buildings require extra care and maintenance, and this extra attention should apply to all areas of the structure. The City of Jackson should encourage proper maintenance of all building elements through firm and fair code enforcement. The City should work to ensure that minor maintenance issues do not become costly structural repairs that endanger the building.
- A restaurant can take advantage of a rear elevation and parking area by identifying a section for outdoor seating. While this type of seating is typically located in the front or side of a building, the rear elevation could also accommodate this vibrant element of Uptown. Such seating should provide shelter, trash receptacles, and durable furnishings. Umbrellas and fixture colors should complement the building and business colors, and the entire area must be properly maintained.



Examples of rear elevations in Uptown Jackson..

3.2 New Construction Concepts

The construction of any new structure within Uptown is important because the new structure needs to be compatible with existing buildings. New construction should seek to harmonize with the visual characteristics of the neighborhood and address elements of scale, design quality, and massing; the relationship of the new construction to existing nearby buildings. Avoid recreating historical styles or themes with new construction. This practice can create a “theme park” type of atmosphere. While new buildings can be inspired by past design, the new building should feel genuine and not a creation of a false past.

The following concepts consider additions to existing buildings as well as entirely new infill construction. The concepts are intended to identify a range of design options that will complement existing buildings, not to dictate specific styles or features. The design of new construction should generally focus on massing, rhythm and directional emphasis, materials, and building elements.

Massing and rhythm are defined by the relationship of a building to the open space along the street frontage, the relationship of solids to voids on building façades, and the relationship of the entrances and porch projections to the street. The directional emphasis (whether vertical or horizontal) of new construction should relate to that of the neighboring buildings. The defined rhythm of Uptown Jackson should be maintained along a street frontage by adhering to uniform lot widths, building widths, and window spacing. Materials and other building elements speak to the style of the building and should be complementary of surrounding structures. An illustration depicting concepts for designing new Uptown commercial infill buildings is shown on Page 28. The general concepts provided in this illustration include:

- Designs should be considerate of the traditional building elements as described in Section 3.1 or on nearby existing buildings that contribute to the historic context of Uptown Jackson. Often a simple design is best, using three basic elements: a unified paint and color scheme, an awning, and non-intrusive signage.
- Properly orient the building to the street and carefully consider the relationship to nearby buildings.



This Uptown Jackson building has maintained some elements to help it complement nearby buildings. However, the overall impression is still quite imposing due to the red canopy construction.

- Emphasize horizontal features that can align with other buildings to reinforce the rhythm of the block. Vertical elements, entrances, lighting, and other street furnishings can also help develop the block rhythm.
- Include architectural details sparingly, with proper repetition.
- Restrict off-street parking areas to the side and rear of the building. Typically, a downtown building is built up to the sidewalk and it is important for an infill building to maintain this building line.
- Encourage multi-story construction to maintain the building roof line and to accommodate mixed-use development that reserves the ground floor for retail uses.



Infill development should support the historical architectural character of the surroundings.

Upper façade elements such as windows and sign panels should be continued.

Encourage traditional storefront awnings and upper and display window proportions.

Establish clear guidelines that prohibit materials such as metal and vinyl siding that are architecturally inappropriate. Discourage covering on transoms.

Recreate storefront elements and build to the sidewalk line to establish vibrant street rhythm.

An infill building example and illustration from Caruthersville, Missouri.



3.3 Franchise Architecture

To maintain the unique atmosphere in Uptown Jackson, branding buildings in the style of a company should not be allowed. Large franchises and national chains typically have a “downtown-style” in addition to their trademarked brand. These styles are more fitting to Uptown, as opposed to a highway corridor.

The company’s “downtown-style” is particularly important if a franchise store is to locate in an attached downtown building of historical nature. This is an infrequent occurrence as downtown buildings are typically not suitable or attractive to franchise stores. However, the City should be prepared if a franchise store prospect desires a Uptown location. These stores can still be complementary to the historical fabric of Uptown. The design concepts for new construction provided in Section 3.2 on Page 27 should apply, and other aspects such as parking requirements, pedestrian-oriented signage, building setbacks, and building lighting may require consideration. Store owners should be able to adapt their brand to create a complementary Uptown building.



With some guidelines for new construction, this franchise could have constructed a building that was more complementary to other Uptown Jackson buildings.

3.4 Residential Issues

Uptown Jackson includes, and is surrounded by, a variety of housing. Much of this housing is single-family, but some properties have been converted to multi-family units. While the conversion of upper-floors of commercial buildings is helpful for the Uptown retail market, low-quality apartments and the conversion of large single-family homes to rental units is typically detrimental. Owners and renters of these units tend to let property deteriorate, more so than owner-occupied housing. Existing Uptown housing is limited.

Although the DREAM Building Design Concepts focus on commercial buildings, the existing housing conditions in Uptown Jackson should not be overlooked. Some recommendations for the Jackson residential market, include:

- The City should more firmly enforce maintenance and building codes on residential properties, ensuring that owners maintain safe structures. This will require concerted effort and expense; but firm and fair enforcement will raise property values throughout the City, encourage new private investment, and save many structures by preventing minor maintenance issues from become major repairs. In some cases, dilapidated property should be demolished.
- There are some opportunities for upper-floor housing in Uptown Jackson. The City should work to encourage property owners that are willing to establish high-quality rental units in Uptown. These additional residents will help provide a consumer market for Uptown businesses and will help keep Uptown safe.
- The City should review its zoning code and determine if the conversion of large single-family homes to multiple-family housing is being encouraged. Implementing zoning measures to prevent this type of residential conversion will maintain the integrity of these stately properties and may increase demand for other properties and housing types in Uptown.
- The City should also review its zoning for land-use conflicts. In some cases, residential property is in close proximity to potentially incompatible uses, such as industrial uses or commercial parking lots. Additionally, existing zoning has allowed significant amounts of public/institutional uses in Uptown.



Examples of large single-family homes in Uptown Jackson.

3.5 Building Design Examples

The City, Uptown Jackson leaders, and property and business owners selected two buildings and the rear elevations of the buildings that front along South High Street and along the first block of West Main Street upon which to focus attention for illustrating building design concepts.

The Lenco Building is located in the 200 Block of West Main Street on the north side. The Jones Drug Store building is located on the West Side of Court Street; directly across from the Courthouse. The buildings that front along South High Street and West Main Street include a wide variety of uses and conditions. The rear parking for these buildings is generally used as public parking, although the lot areas belong to each building owner. These lots and rear entrances can be improved greatly to increase the experience of Uptown Jackson's shoppers and visitors.

Most of the subject buildings are in fair condition. Several are covered with metal siding, but a few have retained their architectural features. The Lenco Building provides little rhythm to Main Street, while the Jones Drug Building just needs some adjustments; primarily regarding signage. The conditions of the rear elevation of the subject buildings are in significantly worse shape than the façades.

The existing conditions and renditions of each subject elevation are shown on the following pages. For illustrative purposes, the rear elevations of a block of buildings are divided to allow for greater detail to be shown on a few buildings at a time.

3.5.1 The Lenco Building

Existing Façade



Remove paint or repaint upper façade with natural/earth tone color.

Proposed Façade



Add interesting building details and lighting.

Consider an accent color for bulkheads.

Install public streetscape elements along the block.

Use multiple canvas awnings to give the impression of multiple storefronts.

With the awnings the same color, the entire building will still be associated with Lenco, but it will feel more comfortable to walk past and will be more pleasing to the eye.

Add lighting to accent business entrance.

Move business signage to the awning.

3.5.2 Jones Drug Store

Existing Façade



Remove sign. Roof signs disrupt the façade and are aimed at vehicles, not pedestrians.

Remove sign. Avoid box signs with internal lighting.

Proposed Façade



Repaint upper façade with natural/earth tone color.

Include accent colors on window trim, courses, sills, and other details.

Consider hanging baskets for additional color.

Install appropriate business signage in the sign band.

Consider replacing existing awning with balcony. The balcony should be made of wood, faux wood, or wrought iron. Balcony brackets can provide another accent color.

Install streetscape elements along the block.

3.5.3 East Side of S. High Street (Rear Elevations)

Existing Rear Elevations



Proposed Rear Elevations



130 S. High Street

106 S. High Street

3.5.3.1 130—124 S. High (Rear Elevations)

Existing Rear Elevations



Proposed Rear Elevations



Remove abandoned signs. If historical signage is to remain, it should be restored.

Screen utilities when possible.

Consider awnings to indicate rear entrances.

Restore rear windows.

3.5.3.2 122—106 S. High (Rear Elevations)

Existing Rear Elevations



Avoid using oversized dumpsters. Consider screening dumpsters and building systems.

Proposed Rear Elevations



Maintain upper-floor residential entrances.

Consider awnings to indicate rear entrances.

3.5.4 West Side of S. High Street (Rear Elevations)

Existing Rear Elevations



Proposed Rear Elevations



113 S. High Street

131 S. High Street

3.5.4.1 113—121 S. High (Rear Elevations)

Existing Rear Elevations



Proposed Rear Elevations



Move business signage to clearly indicate the customer entrance

Consider screening utilities.

Use awnings for entrances and make sure signage is visible from the parking lot.



An employee of Siemer's Appliance Store moves a refrigerator across the newly constructed streetscape pavers in front of the store.

The rear entrance to the store should be improved to accommodate such activity and avoid unnecessary wear on the streetscape.

3.5.4.2 123—131 S. High (Rear Elevations)

Existing Rear Elevations



Avoid filling-in windows and doors to fit a standard size.

Proposed Rear Elevations



Maintain rear façade materials in good shape. Masonry should be repaired. Metal may need to be removed to determine the buildings true condition.

Clearly indicate customer entrances.

3.5.5 South Side of W. Main Street (Rear Elevations)

Existing Rear Elevations



Proposed Rear Elevations

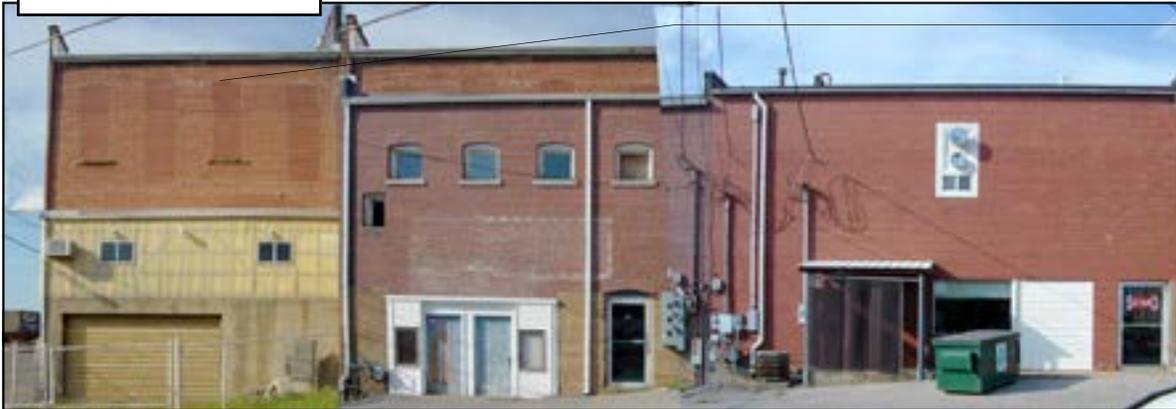


131 W. Main Street

111 W. Main Street

3.5.5.1 131—125 W. Main (Rear Elevations)

Existing Rear Elevations



Consider restoring upper floor windows. If windows are not to be replaced, masonry should match so that no window outline remains.

Proposed Rear Elevations



Maintain upper-floor access in good condition.

Consider screening utilities.

Clearly indicate rear store entrances.

3.5.5.2 121—111 W. Main (Rear Elevations)

Existing Rear Elevations



Accent colors can also be used on gutters and downspouts.

Proposed Rear Elevations



Restore upper-floor windows.

Maintain service openings and use colors complimentary to the building material.

4.0 IMPLEMENTATION

The City should continue to work to develop building design standards. This effort should inspire Uptown property owners and help to arrest the poor building conditions noted to date. There may not be enough political will to make private building standards mandatory, but the City should work with property owners to remove inappropriate material and develop incentives that will help and owner improve their façade. The City may wish to base these standards on the Secretary of the Interior's Standards for Rehabilitation; which can be found in the Appendix on Page 49.

Additionally, The City should continue with plans to improve the Uptown Jackson streetscape and the water service improvements. The typical reinvestment cycle in a downtown is that the City provides an added level of public improvements, such as a streetscape, that sends a signal to property owners to improve their buildings. Those property owners that hold off on improvements will eventually sell their property or improve theirs as well. The combination of the added public and private improvements attracts attention from businesses that then seek to locate in downtown. The City of Jackson needs to continue this cycle for Uptown by proceeding with additional public improvements.

The DREAM Building Design Guidelines are intended as a resource for property owners to utilize in the rehabilitation of existing structures and the development of new buildings. The guidelines should also encourage Jackson officials and staff to work toward the long term goal of developing higher standards of quality for rehabilitation and new construction in the City. By extension, these guidelines also encourage the City and property owners to place a higher priority on the maintenance of rehabilitated Uptown buildings and public places to ensure the sustainability of revitalization efforts.

4.1 Example of Typical Design Standards

As the City reviews its existing building codes, more specific details regarding building elements should be developed in the form of design standards. The design standards are the next step, after these design concepts, to elevate the level of construction occurring in Uptown Jackson. The existing building and zoning codes should be supplemented with design standards to provide clear and concise direction for Uptown property owners. Design standards should be specific enough to describe what is acceptable, or not acceptable, regarding design, materials, and methods of the construction of exterior architectural features. Design standards should not be interpreted as superseding, nor an abandonment of, the existing building code.

The following text and graphics are an example of a set of design standards for windows which supplement existing building codes:

V. Windows

V.I Windows at Public Façades.

A. Windows in Public Façades shall be one of the following (Refer to Figure A):

1. The existing window repaired and retained.
2. A replacement window which duplicates the original and meets the following requirements;
 - A. Replacement windows or sashes shall be made of wood or finished aluminum.
 - B. The profiles of muntins, sashes, frames and moldings shall match the original elements in dimension and configuration.
 - C. The number of window lites, their arrangement and proportion shall match the original or be based on a Model Example.
 - D. The method of opening shall be the same as the original with the following exception; double-hung windows may be changed to single-hung.

B. Reconstructed windows and sashes in a Public Façade shall be based on the following;

1. An adjacent existing window in the same façade which is original; or
2. If all windows on a façade are being replaced, then they shall be based on a Model Example or the window detailed in Figure B.

C. Glass Types at a Public Façade

1. Glass in historic windows on a Public Façade shall be one of the following;
 - A. Clear glass or other original glazing;
 - B. Glass based on a Model Example; or
 - C. Insulated glass with its exterior face set 3/8" back from the exterior face of the sash.
2. The following glass types are prohibited in Public Façades:

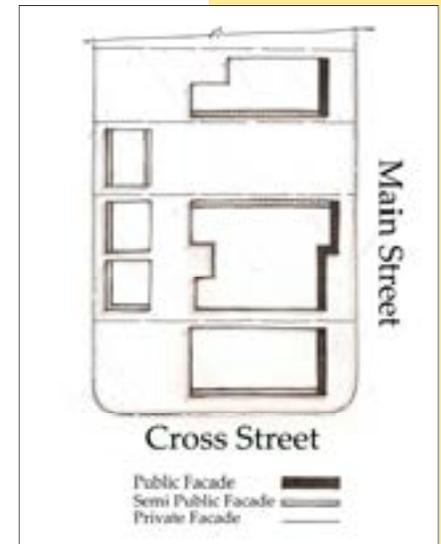


Figure A

- Masonry Arch
- Wood Lintel
- Meeting Rail
- Side Rail
- Bottom Rail
- Sill
- Lug Sill (Stone or Wood)

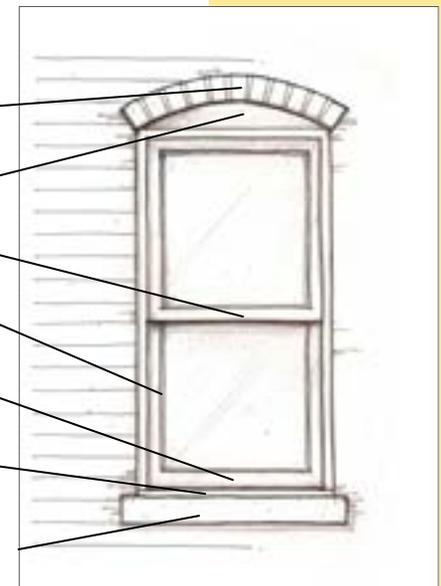


Figure B

- A. Tinted glass;
 - B. Reflective glass;
 - C. Glass block; and
 - D. Plastic (plexiglass) except Lexan or an equivalent.
- D. Abandoned Windows in a Public Façade shall be in-filled by closing them with shutters set ½" back from the face of the wall with the window opening left intact including the frame, sash, sub-sill and lintel.
- E. Storm Windows and Screens at a Public Façade *Comment: Storm windows and screens may be installed at the interior or at the exterior. Interior installation is preferred due to the increased visibility of an exterior installation.*
- 1. Materials
 - A. Exterior storm windows and screens shall be made of wood, aluminum or plastic. Wood shall be painted; aluminum shall be factory or field painted. Clear anodized aluminum is prohibited.
 - B. Interior storm windows and screens are not regulated by these Standards.
 - 2. Storm windows and screens shall also meet the following requirements:
 - A. The dimensions of the area of glass or screen shall be the same as the area of glass in the window being protected.
 - B. The meeting rail of the storm or screen window shall be in line with the meeting rail of the window being protected. Additional meeting rails are prohibited.
- F. New Window Openings Are Prohibited in a Public Façade, except as required by City Health and Safety Codes,
- 1. No new window openings shall be created in a Public Façade.
 - 2. No existing window opening in a Public Façade shall be altered in length or width.

4.2 Next Steps

Implementing building design standards requires public support and buy-in. The Jackson DREAM Initiative has taken important first steps by opening a dialogue about building issues. Suggestions for next steps include:

- Uptown Jackson leaders should collaborate with the City and Chamber to work with local contactors in the development of a program to address common building issues, such as masonry and brick repair.
- Other activities, such as rehabilitation training, recognition of building improvements, and a streamlined permitting process, should be well-received by Uptown property owners.
- Uptown's public spaces and streetscape should continue to be enhanced. Projects to expand the streetscape, add new public plazas and gathering spaces, and to refresh the existing streetscape elements should received top priority and will demonstrate the City's investment in Uptown. However, these improvements require ongoing maintenance or they will become a liability instead of an asset.
- The City has a master plan to improve water service to Uptown. This important improvement should allow some Uptown property owners to install sprinklers for upper-floor spaces.
- The City should work to implement sustainable design solutions. Identification of an innovative signature program that addresses a local conservation need, such as energy efficiency, implemented in Uptown buildings, can provide a compelling benefit to incoming businesses.

APPENDIX

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SECRETARY OF THE INTERIOR STANDARDS FOR REHABILITATION
(36 CFR Part 67)

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.